

S N U G
• H A R B O R •



HARBOR VILLAGE

Snug Harbor Design Guide

5/18/18

Why a Design Guide?

This Snug Harbor Design Guide has been prepared and adopted by the Snug Harbor Master Association to help architects, builders, real estate agents, persons planning to build a home or purchase property and current residents who wish to maintain and renovate their homes to understand the design intent and to assure the long-term quality of the Snug Harbor community.

The intent of the Design Guide is to coordinate the individual efforts of all Snug Harbor residents to achieve and maintain a unique coastal community setting where homes are in harmony with each other and blend with and enhance the natural environment.

Unless otherwise defined in this Design Guide, all defined terms used in this document will have the same meaning as those terms are defined in the Declaration of Covenants, Conditions, Restrictions and Easements for Snug Harbor.

The Design Guide and all Rules and Regulations approved by the Board of Trustees of the Snug Harbor Master Association, as amended from time to time, are considered part of the Community Documents, the Master Community Documents and Snug Harbor Declarations (all of which shall hereinafter collectively be referred to as the "Snug Harbor Documents"). Each Member, Owner, renter, guest or other occupant of any part of Snug Harbor shall comply with the provisions of the Master Community Documents, the Community Documents applicable to the community in which the members, owners, renters, guests or other occupant resides as the same may be amended from time to time, and the deed restrictions applicable to the lot(s) owned or used by such Member, Owner, renter, guest or other occupant.

When you are considering building a new home or making improvements, renovations or replacement to an existing home, you must refer to this Design Guide, the Rules and Regulations, the Master Community Documents, the Community Documents applicable to the lot where the home is located and the restrictions in your deed for all applicable requirements.

Introduction

A. The Snug Harbor Concept

Snug Harbor is a true resort-style family retreat living community that draws on the best ideas found in the most beloved waterfront villages and towns from around the world. Snug Harbor homes are eclectic and present a diverse collection of home sites for lakeside homes, luxury homes, cottages, condos and boathouses.

Snug Harbor will have districts and while each of these districts will have its own individual character and identity, all of the architecture in the community will have continuity through open space linkages, greenbelts, landscape furnishings and signage.

B. The North Shore District

The North Shore District will be a community offering family retreat vacation and primary homes. The architectural style will be eclectic and be on the waterfront. These homes will range from 1,400 – 2,600+ square feet.

C. The Roberts Reserve District

The Roberts Reserve District pays homage to the long-time land owners from whom the land for Snug Harbor was purchased. Roberts Reserve will be a residential community with primary homes and vacation homes. The architectural style will be eclectic and all the homes will be on the waterfront with excellent views of Buckeye Lake. These homes will range from 2,600 – 4,000+ square feet.

D. The Wharf District

The Wharf at Snug Harbor will resemble the 250 year old picturesque fishing village Lunenburg, Nova Scotia, where the hue of one's house reflects the vitality of one's spirit.

E. The Estate Communities at Snug Harbor (The North Shore District, Roberts Reserve & The Wharf)

Where lots are smaller, houses are recommended to use fences to define spaces to differentiate between the public and private domain and to create a continuous edge on the street as well as unify all the houses. At these higher densities, houses can be more easily architecturally related to one another. Details at this close, intimate scale are critical, as are the extra niceties of rose trellises, rose arbors, fences, window boxes, gates, post lights, hedges, etc. Post lights on photocells are recommended.

F. The Condominium Communities at Snug Harbor

The Snug Harbor Condominium Communities will consist of a series of condominium units. Due to the nature of condominiums and the close proximity of one unit to another, condo units are subject to more stringent architectural control requirements resulting in a greater degree of uniformity.

The various Condominium Associations will fall under the same guidelines as the rest of the Snug Harbor Community for any exterior structural changes. For example, common element exterior design changes, replacements of exterior materials and/or colors not on the approved list, would require an approval from the Snug Harbor Master Association.

G. Architectural Styles at Snug Harbor

- Lean-To houses (Salt Box)
- Gambrel-Roof houses
- Late Colonial and Early Federal
- Federal
- Greek Revival
- Victorian Style
- Colonial Revival
- Shingle Style
- Craftsman Bungalow Style

Home styles listed below are not included in this design guide but are allowed:

- Old California & Spanish Revival
- Italian Mediterranean
- French Mediterranean
- Spanish Mediterranean
- Canadian Muskoka Style
- Seaside Style
- Arts & Crafts
- English Cottage

Home styles are not limited to the above list, but all designs must be submitted to the Design Control Committee for approval.

Design Review at Snug Harbor

A. The Design Review Process

The design process is administered by the Design Control Committee (the “DCC”). The Design Control Committee shall be comprised of two Trustees from the Snug Harbor Master Association Board and a third person designated by the Board. The duties of the DCC may be carried out by members of the DCC or their designee.

Every proposed new home or exterior improvement to an existing home or property in Snug Harbor must be reviewed and approved by the DCC before construction or installation with certain limited exceptions.

Exterior improvements requiring prior approval encompass any replacements, additions or modifications to the exterior of your home unless a replacement is being made and the same materials, color and design are used as the original (“like-for-like”) or a pre-approved material and pre-approved color are used. In the case of a like-for-like replacement or a switch to a pre-approved material or pre-approved color, the homeowner must submit a No Fee Application to the DCC. No fee is required, but the DCC will keep a record of the change and will review it to be sure it is truly like-for-like or a pre-approved material or pre-approved color.

- Patching or repairing limited areas of an existing roof is prohibited without prior written approval of your application from the DCC. In many situations, full replacement is required.
- Patching or repairing limited areas of existing wall siding or shingles is prohibited without prior written approval of your application from the DCC. In many situations, full replacement is required.
- Replacement driveways always require DCC approval because of the potential drainage issues, which may affect adjoining properties.

See the instructions in **Appendix A** for examples of projects requiring design review.

This Design Guide, the Site Guideline Plan, and the Protective Covenants or Development of Snug Harbor, contained in the Snug Harbor Declarations and the Deed restrictions, shall be the basis for approval or disapproval of each proposed new home or improvement.

See **Appendix A** for a set of instructions and three applications for use with the DCC.

- New home construction, remodeling and additions
- Renovations, landscaping and other miscellaneous work (includes any colors other than like-for-like or pre-approved colors)
- No Fee Application form: like-for-like or pre-approved materials and colors only

To seek approval of your construction or other improvement project, you must submit three copies of the proper application, drawings and other documentation along with a deposit. The deposit will be used to pay the upfront review fee and will be held in escrow to pay any inspection fee for the final inspection after the work has been completed.

Three submittals are required for most new construction and addition/remodeling projects: Schematic Design Drawings and the Final Construction Drawings.

The schematic design is the first and most important of the creative stages of your project. At this phase you should provide floor plans at a 1/8" scale, exterior elevations at 1/8" scale, and a site plan at 1/20" scale.

No project may proceed to the final construction drawing phase without Schematic Design approval from the DCC; likewise, construction may not begin without approved in writing Final Construction Drawings.

After an application and plans are reviewed, the DCC will process the paperwork by the end of five business days. A redlined copy of the plans is returned to the Applicant along with a letter summarizing the outcome of the review. A copy is kept in the DCC files and an additional copy is kept in the files of the property manager for the Snug Harbor Master Association.

Please direct questions about this Design Guide or your application to:

Design Control Committee
5 East Long Street, Suite 800
Columbus, Ohio 43215
snugharborma@gmail.com

Additional information about the design review process including detailed instructions and the necessary submission forms can be found in **Appendix A** at the end of this document.

A fee schedule can be found in **Appendix B** at the end of this document. The fee will include the design review fee as well as an inspection fee.

B. Design Review Criteria

The guidelines in this Design Guide are aids to responsible decision-making, not formulas for building a new home or altering an existing one. To be effective, certain definitions within the guidelines will represent certain recognized values. Their use will dictate the amount of flexibility, if any, the DCC may use when a plan approval is sought.

The following are DCC's three categories of criteria and some individual terms used within this Design Guide to determine them:

Requirements

Design Standards that must be followed in order to receive plan approval. In the text, the words "must", "shall", and "prohibited" signify requirements.

Recommendations

Design elements that are encouraged by the DCC. In the text, the words "preferred", "important", "encouraged", "discouraged", "should", and "recommended" signify recommendations. A recommendation may be waived, but only if the applicant can satisfactorily demonstrate that in his/her particular case the recommendation is not appropriate, or does not apply to the project.

Considerations

Design concerns dealing with broader contextual elements. There is no established vocabulary here, since considerations address broader issues, compliance is voluntary; non-compliance is not grounds for the DCC to reject a plan.

C. Recommendations For Plan Approval

Read the Design Guide

The Design Guide provides a written explanation of the basic character, which the DCC encourages. These are not formulas or a cookbook, per se, but give a strong indication of what might be addressed during the review process.

Hire a Qualified Residential Architect

Hire an architect with experience in designing coastal, waterfront, vernacular and period architecture. (See Approved Architects List)

Early Contact

Contact the DCC before you begin designing your home to ensure you fully understand the policies and procedures and to avoid preparation of detailed plans, which may not be approvable as submitted.

Don't Expect Immediate Approval

Some plans do not pass on the first review by the DCC. The DCC will make every effort to clearly communicate the intent so as to expedite your building experience.

Consider Revisions As An Opportunity For Design Improvement

The DCC review process is a part of the design process. Submit your schematic design to the DCC early on and use their comments in the refinement of the building program and design. Do not assume that the design is complete before the first review; it will create more anxiety if you are requested to make a change.

Respond to All Revision Requests

If the DCC addresses “x” number of items in their first review, make sure all “x” items are addressed when offering revisions.

Submit for Changes During Construction

Some of the biggest conflicts that occur with the DCC are the result of “as-built” revisions (revisions that are applied for after they have already been constructed). The DCC is more likely to deny an as-built condition than they are to deny an application revision previous to construction. The denial of an as-built condition can be a very costly prospect.

Changes to Final Approved Construction Drawings

If any changes are made to the final approved construction drawings, those changes must be approved in writing by the DCC, and the revised final approved construction drawings must be submitted to the DCC.

D. Inspections

You are required to notify the DCC after the completion of any project requiring DCC approval including new home construction, remodeling and additions, renovations, landscaping and other miscellaneous work so that a final inspection may be scheduled. The purpose of the inspection is to ensure that the approved plans have been followed. After the inspection has been completed, a certificate of completion will be issued. Inspections shall occur according to a schedule developed by the DCC and may occur on a quarterly basis in order to minimize the cost associated with each inspection.

E. Updates to the Design Guide

The DCC and/or the Board of the Snug Harbor Master Association will update the Snug Harbor Design Guide from time to time. All such updates can be found in **Appendix C** at the back of this document.

F. New Approved Materials

The DCC and/or the Board of the Snug Harbor Master Association will consider and approve new building materials from time to time. A current list of approved building materials can be found in **Appendix D** at the back of this document, which shall be amended from time to time.

The Snug Harbor Design Guidelines

It is intended that this Design Guide be of real assistance to the architects, builders and owners as they design homes that will become part of the pleasant, quiet atmosphere of Snug Harbor. The natural environment will dominate throughout the development and seclusion and privacy will prevail for each family.

Through the unified effort of all those involved in building at Snug Harbor, one of Ohio's finest communities has become reality. The Design Guide is intended to protect this maturing community and ensure its existing integrity.

A. Your Home Site

Each building site at Snug Harbor has its own specific qualities and characteristics. It is important that you look carefully at your lot, observe its special assets and decide how each of these can best be used to increase aesthetic value of the lot to you and the community. Before you select or design your home, there are some things you must think about.

Your Automobile

A basic goal relating to automobiles is to reduce their visual impact on the neighborhood. The placement of driveways and garages is very important toward achieving this goal.

Your Driveway

The ideal driveway is part of your home's "entry sequence" and links strongly with the front entrance. A well-designed driveway is part of the entry garden, partially enclosed with shrubs or a wall and creating an "auto court". All driveways must be at least three-feet from the property line. The DCC will determine if a drainage culvert is required.

A six-inch temporary drive base must be installed from the street to the excavation prior to placement of concrete house footings. Adjacent lots are prohibited for use as access, turnarounds, parking areas or for material or dirt storage.

Camper, Trailer or Boat Storage

Storage of mobile equipment such as a camper, trailer, motorcycle, ATV, mobile home or boat must be in a garage.

Home Planning

If you are going to successfully plan your home, you must consider both the outdoor space as well as the indoor spaces. You will be attempting to create and control all the space you live in; everything you see, use and maintain.

You must consider the relationships of the four main functions of a home; public access (front yard, entry hall), general living (living room, terrace), work (kitchen, garage and service) and private living (bedroom and bathroom). Each of these spaces has its corresponding indoor and outdoor elements. Each works best and provides most livability and pleasure when planned from the outset and built as part of a continuous indoor-outdoor system.

Site Qualities

Start the design process by carefully observing the natural qualities of your site. Study how the natural qualities can be used, while keeping grade changes to a minimum. Save the trees, rock outcroppings and scenic areas; use the views; recognize the slopes and drainage patterns. Place your house on the site to disturb a minimum of existing grades and contours.

During construction, you must protect trees or natural areas by a temporary fence or barrier. Leave ravine areas natural and undisturbed; do not fill with dirt or debris. Remove no trees or natural features before final approval of plans and specifications and DCC approval.

The builder will be responsible to install a silt fence to run the length of the lot to eliminate silt run off into the lake.

Topography

The land at Snug Harbor varies from level to moderately steep. Design elements such as mounding and retaining walls should be considered in developing your site. These elements should blend with your site and enhance its natural features.

Grading

When trees or other such elements are to be preserved, they will determine the level of grading in their immediate vicinity. Retaining walls, terraced banks and planted slopes should be considered as part of a grading plan (graded portions of lots outside the buildable area shall be kept near existing grade or shaped not to exceed a 4:1 slope).

Drainage

Drainage is often a major problem for the new homeowner, often forgotten and seldom completely solved before the first big rain or spring thaw forces action. The acts of excavating or filling, destroying the vegetative cover, of building impervious roofs or paved surfaces increase the amount of surface run-off and change its direction and concentration.

Storm water from buildings and pavements on each site shall be directed by pipe or swale to the location determined by the DCC. Storm water originating from the natural watersheds of adjacent property shall be accommodated and transmitted through your site to an existing outlet. It is required at Snug Harbor to control storm water and sedimentation both during and after construction.

Setbacks and Side Yards

Building setbacks are flexible at Snug Harbor within the minimum requirements set by zoning. It is the intention that homes will have varied setbacks, not “lined up” as in a subdivision, and be carefully sited in more random order where trees and topography indicate.

All new structures and additions to existing buildings are subject to Thorn Township Zoning Restrictions and setback requirements. Owners must complete and submit a separate application and fee to the Thorn Township Zoning Department. For further information please call the Thorn Township Zoning Inspector at (740) 246-4808 office and (740) 641-9094 or visit their website at <http://www.cpmra.muohio.edu/townships/thorntwp/zoning.htm>

Coordinate With Your Neighbor

Create privacy for you and your neighbor by carefully locating and coordinating the private spaces of your home. When possible and permitted, use common screen walls or fences to help each other create privacy.

Preserving Views

When siting your home, additions, outbuildings, docks and landscaping, you will need to take your neighbors into consideration and use your best efforts to minimize interference with their views of the lake.

B. Your Home

Your home at Snug Harbor should have a “pure” quality with natural materials, colors and forms predominating. The home should easily blend with its natural surroundings and with its neighbors. As you design your home, seriously consider the following elements:

Building Size

The homes at Snug Harbor will range in square footage from 1,000 square foot cottages to 3,000+ square foot custom homes. The square footage requirement will vary per location and home site type.

Building Style

The architectural standards encompass coastal architecture from around the world. The homes will be eclectic and range from homes, luxury homes, cottages, condos and boathouses.

Building Heights and Form

The general shape of the home; roof, walls and appendages should fit in with the land and be compatible with neighboring homes.

The terrain often suggests the type best suited for the lot. Homes with special features are encouraged. Detached garages, other outbuildings, walls and fences may be appropriate in certain situations, when designed to coordinate with the design of the home and the

adjacent homes and properties.

Metal storage sheds and other prefabricated outbuildings are not permitted.

Materials

Wood is the dominating material at Snug Harbor, but authentic reproductions of wood may be acceptable. The use of vinyl and metal siding is prohibited. Stone and brick are allowed with the approval of the DCC. The use of two-dimensional veneers (such as brick front only) is prohibited. Four-sided architecture is required; therefore the integrity of building materials must be consistent around the entire house. All materials must be reviewed by the DCC. Even though certain materials have been approved in the past, those materials may no longer be acceptable or may not be appropriate for your particular home.

Colors

All colors are to be approved in advance by the DCC.

Garage

To maintain the fabric of coastal architecture, special consideration should be given to the design of garages. It is recommended that garages be reminiscent of boathouses or carriage houses of earlier times. Attached garages should appear as an addition to the house. Detached garages may not be appropriate for every property in Snug Harbor and are subject to review by the DCC. Whether attached or detached, the garage should be an integral part of the overall design concept.

Garage doors are required to be compatible in design with their settings and must be of high quality construction and design. Natural wood doors are preferred and DCC approved painted fiberglass doors. No double-wide garage doors will be approved without DCC approval. Doors must be 8' tall with the widths variable. In general, garage doors should have details or textures that break up their large scale. For this reason, flush doors are not considered appropriate.

See **Appendix H** for pre-approved garage door details.

Roofs

The four main roof types permitted are the traditional gable, lean to, gambrel and hip. The pitch of a gable roof should not be lower than 7 inches vertical in 12 inches horizontal (7/12) or more than 12 inches. In the interest of harmony among roofs, a pitch of 8 in 12 inches (8/12) is recommended.

Small add-on sheds, or “warts” may have as low as a 4 inch pitch (4/12).

Gambrel roof pitches may vary, but they should follow the pitches and proportions found on historic gambrel roofs.

Lean-to houses are often designed incorrectly. On a historical lean-to, the front and rear slopes were almost always the same pitch, generally the same as used on gable roofs, 8 to 9 inches in 12 inches.

The DCC reserves the right to approve roofs designed outside this guideline on a case-by-case basis.

Overhangs

The overhang of the roof should be kept small. Large overhangs may be approved for specific functional reasons or other architectural purposes.

Dormers

Gable, flush and shed dormers are recommended dormer types. All dormers should be carefully designed and positioned to be in scale with the house and roof and in balance with other features of the façade of the house. A dormer should not obliterate the roof plane in which it is placed, but compliment its slope. The dormer pitch and overhang and other detailing should be compatible with the main roof.

See [Appendix H](#) for pre-approved rake and eave elevations.

C. Materials and Details

Roof Material (*required on the Design Review Application*)

Roof materials and colors should be compatible throughout the community. The use of wood shingles or wood “shakes” left to weather naturally is permissible but the use of a sealer or other protective finish is recommended. Roofs of metal, composite materials or approved heavy weight dimensional shingles may also be used. All roofing materials and colors must be approved by the DCC.

Gutters, fascias and rake boards are to be painted white unless approved by the DCC. Downspouts should match the surface that they are attached to. Roof fans, jack vents and flashing (except copper) are to be painted to match the roof.

Exposed Foundation Materials (*required on the Design Review Application*)

Exposed foundations may be of select common brick of a uniform dark color laid with narrow ¼ inch mortar joints or natural stone, cultured stone or split faced block, with a maximum of 3 courses exposed unless approved by the DCC.

Driveway Materials (*required on the Design Review Application*)

Driveway materials are to be blacktop, decorative stone, exposed aggregate concrete or pavers. All driveways and replacement driveways must be approved by the DCC. All

driveways must be made of the same material and cannot be a combination of two or more materials.

Window Materials (*required on the Design Review Application*)

Windows shall be wood or wood-like, double –hung sash with true divided lights (fixed muntins) or a simulated divided light with a spacer bar and must be approved by the DCC. “All vinyl windows” shall not be permitted in any of the Snug Harbor communities.

The use of some window types is discouraged because of awkward proportions and other characteristics that are inappropriate at Snug Harbor (i.e. tall narrow easements, sliding glass doors). All windows must be approved by the DCC.

Window types with a large pane of glass, such as picture windows and other large fixed sheet windows should be used with moderation and handled with design sensitivity.

Non-rectangular or irregular shaped windows such as trapezoids and triangles are generally not approved. Round windows and other symmetrical, but not rectangular windows may be used for accent or special emphasis.

Half screens may be permitted; however, full screens must be approved by the Design Control Committee. TruScene® and similar high-visibility screens are preferred and strongly suggested.

Window boxes are encouraged where appropriate but all window boxes must be approved by the DCC.

See **Exhibit E** for pre-approved window and window box details.

Shutters

Shutters are discouraged if they are intended only for surface decoration. If shutters are to be approved, they should be properly proportioned to fit the window and have authentic period design with authentic hardware (i.e. hinges and shutter dogs).

Exterior Trim (*required on the Design Review Application*)

A typical Snug Harbor home will include casings, corner boards, rake boards and cornices. Many types of casings have been used. Common today is the wide plain 1x4 or 6-inch, but other designs can be modeled after historic windows. A good width provides a weather seal and a strong border around the wall openings. A 3 1/2- inch brick mold (window casing) must be used unless approved by the DCC.

Windowsills shall be 2" deep with extended sill horns to the outside edge of the casing.

Corner boards should be placed at the end of the wall planes to resolve the joint of shingles or clapboards and provide an effective weather seal as well. These boards were commonly flat, 6 inches wide.

Inside corners should be minimized (3/4" x 3/4") and finished to match the siding. Rake boards along the sloping gable end, commonly 1x6 or 8 inches, were similar to the corner boards.

Cornices were small and plain because of the characteristic small roof overhang.

Trim and details in Snug Harbor can be observed in the community and in the Snug Harbor standard details (see **Appendix H**).

The Design Control Committee must approve all exterior trim detail and materials.

Doors (required on the Design Review Application)

The entrance is probably more important than any other exterior part of your home. Care should be taken to select an aesthetically pleasing arrangement. Front entry doors at Snug Harbor shall be made of wood, wood-like materials, painted fiberglass and all require DCC approval.

Decorative "scalloped" storm door panels are not permitted. Aluminum storm screen doors are prohibited. All storm and screen doors must be approved by the DCC.

Garage Doors are important elements in the design of every Snug Harbor home and should be treated with the same attention to quality and detail as every other element. Garage doors must be "Carriage House" or "Coach House" styles. Flush panels, raised panel "Colonial" styles and contemporary styled doors are not acceptable.

Garage door construction must show a high degree of dimension and depth; all-steel doors are not acceptable. Acceptable door construction includes "composite" doors of steel with composite overlay; all-wood doors and all-composite doors. Other door construction may be reviewed on a case-by-case basis.

Garage doors with glass inserts are acceptable as long as they are compatible with the design of the home.

See **Appendix H** for pre-approved garage door details.

Building Materials and Colors (required on the Design Review Application)

The roofs and sidewall materials of each house shall be compatible with each other. Natural colors of natural materials blend easily together. When man-made materials are used, colors must blend with natural materials. Accent colors are encouraged only if used carefully to add a highlight or detail to the house. Roof colors should be similar to weathered cedar shake.

D. Exterior Siding, Trim and Veneer Specifications

Sidewall Shingle Systems

Sidewall Shingle Panels shall be vertical grain Western Red Cedar of 5" exposure tapered shingles and an open keyway. Panel ends shall have an interlocking joint system, have a regular-sawn surface and shall have a straight butt-line.

Outside corners (where used) shall be prefabricated flush units of Western Red Cedar with grade, exposure, surface texture and butt-line to match the above.

Individually Applied Cedar Shingles

Individually applied shingles shall be vertical grain Western Red Cedar tapered shingled grade one or white cedar shingles grade A, with a 5-inch exposure.

Western Red Cedar Bevel Siding

Sidewall shall be Kiln Dried, Western Red Cedar plain bevel siding. Size shall be ½" x 8" (actual 7 ½" dressed width). Grade shall be Western Cedar Lumber Association grade clear vertical grain (grading agency NLGA paragraph 201a). The smooth (planed) surface shall be exposed to the weather with a 4 ½" exposure; unless approved by the DCC.

Each piece shall be primed on all side and edges before installation.

Fiber-cement siding is an approved material for siding at Snug Harbor. Acceptable fiber-cement siding styles include lap (clapboard) or vertical. Shingle styles must be wood straight-edged (staggered, half-round, octagon and similar styles are not acceptable).

Engineered wood siding is a conditionally-approved material for siding at Snug Harbor and must be approved on a case-by-case basis.

Other high-quality composite siding materials may be reviewed on a case-by-case basis. Aluminum and vinyl siding are not acceptable.

General Trim Specifications

Exterior trim (corners, casing, sills, heads, cornices, fascias, soffits, etc.) is a detail whose importance must not be overlooked in the design of your Snug Harbor home. Proper sizing, placement and depth of trim boards and millwork gives a home the added dimension that makes it stand out from lesser designs.

Trim boards should be appropriately sized for the home; larger, thicker boards and built-up trim details are generally more desirable. 5/4" trim boards are encouraged over ¾" boards

Acceptable trim materials include high-quality rot-resistant wood species (western red cedar, redwood, douglas fir and others), fiber-cement, high-density polyurethane and engineered wood. Other trim materials may be reviewed on a case-by-case basis, with no flat grain material allowed.

Brick (*required on the Design Review Application*)

Natural sand mold brick is preferred. “Manufactured” sand mold and textured brick may also be approved. Color ranges should be subtle; no speckled or glazed effects permitted. Brick details in chimneys, sills, entry steps and foundations are encouraged (soldier courses, basket weave, etc.).

Stone (*required on the Design Review Application*)

Natural or synthetic stone laid in a natural horizontal bed is preferred. Rubble and roughly squared stone should not be used. Square cut dimensional or ashlar (stone) are not preferred. If flat faced, vertical bed stone is used, flush joints rubbed with burlap are recommended. Native Ohio limestone in gray or buff is preferred over more exotic stone. All stone must be approved by the DCC.

Colors and Material Samples

All exterior building materials and colors are subject to review and approval by the DCC. Actual samples on non pre-approved material must be submitted with your design review application.

See [Appendix H](#) for pre-approved Lap Siding details.

E. Building Elements

Chimneys

Brick chimneys are recommended, not only because they are traditional but also because they have good characteristics of scale and texture. If unpainted, the brick should be of a uniform color, preferably red.

It is suggested that chimneys have a massive character, evoking the image of warm fire and hearth in an exposed coastal setting. On larger houses, interior chimneys are recommended over exterior chimneys. Stone chimneys are acceptable. A shroud approved by the DCC must conceal non-masonry flue terminations.

Skylights

The use of skylights are discouraged but may be approved on a case-by-case basis. If skylights are approved, they should have a flat configuration, be parallel and as close to the roof plane as possible. Bubble or other protruding skylight designs are specifically prohibited.

Porches (*required on the Design Review Application*)

Porches and verandas can be enjoyed as pleasant features of coastal and lake homes. They can be incorporated into a building design as a single additive volume, as an exterior space cut out from the simple mass, or as a combination of both.

In general, the porch design for a Snug Harbor home should be kept simple and straightforward. Porch floor materials should be 1x3 tongue and groove boards placed perpendicular to the house wall with slope for drainage. Stamped, colored concrete (brick pattern/brick red color only, exact color to be approved by the DCC) and exposed aggregate (color to be approved by the DCC) are also approved porch floor materials. If concrete is used, the sides of the porch, if above grade, must be brick or stone. No exposed block foundation is permitted.

Railings are an important element in the design of stairs and porches. Handrails, balusters and posts should be designed as integral parts of the porch, stair and house and should exhibit the same materials, colors and details as the house. All porch railing and post details and materials must be approved by the DCC.

All porch trim and railings are to be painted white. All open areas under porches must be screened by latticework, unless approved by the DCC. No diagonal lattice will be permitted.

See **Appendix H** for pre-approved handrail, screen porch and lattice details.

Decks (required on the Design Review Application)

Decks, one of the simplest and most economical outdoor living spaces to build, are popular on the lake. A deck can be a problematic addition to a building because the raised deck sticks out from the building and does not have a roof to help relate to the building's massing.

Decks of crude or coarse construction, such as 2x4 railings are incompatible with the simple refinement of Snug Harbor houses. All decks should exhibit an attention to detail that is in keeping with the style of the house.

Railings are an important element in the design of stairs and elevated decks. Handrails, balusters and posts should be designed as integral parts of the deck, stair and house and should exhibit the same materials, colors and details as the house. All deck railing and post details and materials must be approved by the DCC.

All deck trim and railings are to be painted white. All open areas under decks must be screened by latticework, unless approved by the DCC. No diagonal lattice will be permitted.

All decks are to be approved by the DCC. Decks attached to houses are to be built from materials similar to those used in the home. Wood decks should be permitted to weather naturally and the railings must be painted white.

See **Appendix H** for pre-approved handrail, deck and lattice details.

Exterior Stairs

Proposal for outside stairs will be reviewed on a case-by-case basis, according to design and visibility.

Door Platforms and Steps

The platform and steps provide a transitional space from the public outdoors to the private interior. Steps of wood or authentic reproductions of wood are preferred. Steps of brick or stone may be approved if they are of tasteful design related to the building.

Gutters

Gutters and leaders shall be copper or white painted metal. Downspout color should match the surface they are mounted to.

Louvers, Vents, Etc.

These valuable elements are to be wood or wood-like and painted white.

House Lights (*required on the Design Review Application*)

It is recommended that exterior lights be of a nautical type and be compatible with the period and style. The light cast shall be warm in color such as incandescent.

Post lights on photocells are highly recommended. Floodlights shall be used only when needed and not for general-purpose lighting.

All exterior lighting (including landscape lighting) must be approved by the DCC. Dock lighting must be approved by the DCC and must be of low wattage "cut-off" type fixtures designed to provide minimal illumination of walking surfaces only. Lamps may not be visible beyond the immediate vicinity of the dock.

See **Appendix H** for approved standard post light detail.

Roof Walks

These roof platforms (called widow's walks) are encouraged. Accessible through a hatch in the roof, the widow's walk allowed householders to keep a lookout for fires, schools of fish, whales, storms and family members returning from sea.

Today, roof walks add visual charm and can be used as a deck on the roof to view the lake. Roof walks should follow traditional design and construction detail and should not interfere with the clear expression of the roof slope. Access should be from a roof hatchway rather than an exterior stair.

Cupolas

Cupolas, lanterns or belvederes set on the ridge of a roof are encouraged. Traditional cupolas (usually with fixed windows on four sides) were often spacious enough to be small rooms unto themselves affording excellent views.

As architectural elements, cupolas “crown” the structure, filter light into the home and modify long roof ridgelines.

Name Tags

Waterfront villages and towns like Nantucket have homes that are frequently given names, which are carved into quarter-boards like those on ships. To follow the seafaring traditions, it is recommended and encouraged that each Snug Harbor home be named and the name be displayed. Signs must be appropriately sized for the size of the house and can be no larger than six feet by ten inches unless approved by the DCC. All proposed names and signs must be approved by the DCC.

Patios, Terraces and Outdoor Cooking Areas (*required on the Design Review Application*)

Outside spaces such as patios, terraces and outdoor cooking areas are important to every home; they are direct extensions to the inside living spaces of each residence. The design of outside living spaces must be properly coordinated with the design of every home and must be approved by the DCC.

Outside spaces, when designed to provide privacy, are to be enclosed with plantings, fences, walls or gently mounded earth. Concrete patios are approved only on a case-by-case basis. Brick paver patios are encouraged.

Detached Gazebos, Swimming Pools and Play Yards

Detached buildings of any type (garage, gazebos, cabanas, etc.) may be appropriate in certain situations when designed to coordinate with the design of the home and the adjacent homes and properties. These facilities are part of the “private” system of the site. All detached structures must be located within the buildable area.

No above ground swimming pools are permitted.

Swimming pools, basketball backboards and tennis courts are subject to DCC approval on a case-by-case basis.

Trashcans must be kept in a carriage house, garage or visually screened enclosure.

Fire Pits, Fireplaces, Spas and Hot Tubs

Permanent fire pits, fireplaces, spas and hot tubs must be appropriately located and screened, both visually and acoustically subject to DCC approval.

Fences

These small linear elements are an essential part of the image of Snug Harbor. Where a house has a different orientation or is set back from the street, the fence edge is particularly beneficial to connect it to its neighbors and the street.

Fences shall not exceed 48 inches in height, except in special circumstances. Horizontal board fences are not permitted along the front of a small lot (i.e. horse fencing, split rail, etc.).

While there are many fence designs that can be approved, the design of any fence should be compatible with the style and period of the house it accompanies.

Fences shall be made of wood or approved wood-like materials and painted white. All fencing and enclosures must receive DCC approval.

Properties are to blend into each other in a natural way as much as possible. Fences separating side yards require DCC approval.

See **Appendix H** for pre-approved fence details.

Signage

Every home in Snug Harbor must display house numbers on an approved mail box. Both a mailbox and a house sign bearing the street numbers are preferred for safety reasons and design reasons. House signs bearing the street number should be designed to be subtle, yet readable and should be compatible with the natural setting. All such signs must be approved by the DCC.

All yard signs, including but not limited to contractor signs are prohibited unless approved by the DCC. For sale signs require DCC approval and are limited to one standard sized realtor or “for sale by owner” sign. In addition, small signs indicating the presence of a security system or an invisible fence do not require prior approval.

No sign, artwork or other ornamentation larger than eighteen inches by twenty-four inches and which is visible from the street or the lake is permitted to be attached to the exterior of a home without DCC approval other than those specifically permitted in this Design Guide.

Mailboxes

To ensure continuity of design, each mailbox must follow the approved mailbox details in terms of the mailbox design, color and the numbers that are used. No decorations or hanging items may be placed upon the mailbox or mailbox post.

See **Appendix G** for pre-approved mailbox details.

F. Landscaping

The major goals of the landscaping are to (1) enhance each home and help it blend into the natural setting, (2) create a private environment for each homeowner, and (3) supplement and accentuate the existing features of the land.

Each homeowner shall provide a landscaping plan as part of his/her required site plan for design review and approval.

Landscaping should follow a simple, straightforward restrained design. Simple gardens, elegantly rendered, lend organization to a house as well as color. Window boxes planted with flowers create another color accent.

Hedges should be used (1) as barriers to separate publicly accessible areas from private house lots, (2) as walls or edges along the street or lot lines defining spaces, (3) as screens to block out visually unattractive use or to shield private activities, and (4) as design elements to lead the eye to a particular focus in a setting or view. Hedges or other plantings should be coordinated with adjacent lots as well as the street edge.

Plantings should be placed away from the house entrances and other key spots to enhance the architectural features or privacy areas of each building. Foundation planting is encouraged.

Planting at or near property lines must be coordinated with neighboring property owners to create a natural flow of planting from property to property. Property lines are not to be accentuated as "lines" unless approved. Artificial plants are prohibited.

Certain areas of wooded lots should be left in their natural state. These natural areas provide a pleasant contrast to finished areas and reduce maintenance. However, where the natural area becomes unsightly, dangerous or constitutes a nuisance or disturbance and is no longer a pleasant contrast to other lots and landscaping, the lot owner shall be required to submit a plan to the DCC for cleaning up or mitigating the condition of the lot, which shall be reviewed and approved in writing by the DCC prior to any work being performed. Whether the natural area is unsightly, dangerous or constitutes a nuisance or disturbance and is no longer a pleasant contrast to other lots and landscaping shall be determined in the sole discretion of the Master Association board.

Garden walks, paths, retaining walls and steps are important parts of any site development. Walks may be built from brick, washed gravel, bark mulch or other approved materials and all must be approved by the DCC.

Awnings used on patios and decks may be of wood and/or canvas and must be approved by the DCC. No metal or fiberglass awning products shall be used unless approved by DCC.

Any landscaping accessories larger than thirty-six inches in height and twelve inches in width and which are visible from the street or lake are prohibited unless approved by the DCC. Any permanently placed landscaping accessories, including but not limited to bird feeders, bird baths, fountains, statues and lawn ornaments are to be submitted to the DCC for approval before installation on the property. Such permanently placed accessories must be scaled to fit the area, compliment the architecture of the house and kept in good working condition.

Weather permitting, landscaping must be installed within 30 days of construction on the home being completed.

The DCC must approve any irrigation system when it is proposed that any part of the system extends above ground at any point and/or when any part of the system extends beyond property lines.

See **Appendix I** for additional landscaping requirements addressing existing plant material, new plant material, lawns and ground cover.

G. Utilities and Services

All electric, telephone and cable services are to be underground. Meters on the exterior of houses are to be located for easy access for meter readers, but screened from street or lake view.

All service entries and conduits are to be painted to blend with the home. No window air conditioners shall be permitted. Outside air conditioner condensers, heat pumps, permanent generators, fuel tanks and other mechanical equipment must be mounted at the rear or side rear elevation of the home and tucked into an inconspicuous location. Shrubbery at least 36" tall at planting must be maintained to screen the unit(s) from year-round view. No fan is to be directed toward neighboring properties without approved sound barrier.

Outside TV or commercial radio antennas and satellite dish antennas may be permitted, provided that they comply with current FCC regulations as to size and height. You should consult the OTARD Rules of the FCC prior to installing your antenna. Roof attic antennas are encouraged. Satellite dishes greater than one meter in diameter and HAM radio antennas must be approved in writing by the DCC prior to installation. Roof mounts are prohibited.

H. Rip Rap

Rip rap is required to be maintained in good repair on all properties in Snug Harbor that have a shoreline. The shoreline rock helps slow down or stop the eroding process caused by wave action, the rising and falling of the water level, freezing and thawing or just plain gravity. The rock used shall be the same type and size that was originally installed.

I. Fertilizer

Home owners may fertilize their lawns and landscaping as appropriate, but the use of fertilizers containing phosphates is prohibited.

J. Contractor Damage

If any damage is done to the common areas, the declarant's property or the property of another Homeowner by a contractor or other individual doing work in Snug Harbor, The Homeowner for whom the work is being done will be responsible for any such damage. The Master Association will arrange for the damage to be fixed and will bill the Homeowner for the amount owed. In the event the Homeowner does not reimburse the Master Association for the cost of the repair within

thirty (30) days of being notified by the Master Association, the Master Association will initiate the process of filing a lien on the Homeowner's property.

K. Enforcement

- a) The remedies provided for in this Design Guide are in addition to any other remedies provided for in the Snug Harbor Community Documents, including but not limited to the Community Documents and the Master Community Documents, the Master Association Code of Regulations or by Ohio law.
- b) After being given 30 days notice, the Homeowner may be subject to an enforcement assessment of \$500.00 per quarter for any issue not brought into compliance with the Design Control Guide or the requirements of the DCC. This includes but is not limited to architectural and landscaping details.
- c) The homeowner shall have the right to request a hearing before the Snug Harbor Board of Trustees prior to any enforcement action. The request for a hearing must be made within ten days of receipt of the initial notice of a failure to comply with the Design Control Guide or any of the requirements of the DCC. No enforcement assessment shall be levied until the owner has had an opportunity to request a hearing. If no hearing is requested within the time provided, then the assessment shall be levied without further notice or hearing.
- d) If the enforcement assessment is not paid within one quarter of being billed, a lien will be placed on the property by the Association.
- e) Revoke dock easement and remove dock

The committee has been established for the following purposes:

- a) To provide review, evaluation and approval/disapproval of proposed plans.
- b) To establish, maintain and preserve specific architectural guidelines and standards to carry out the intent of the deed restrictions, which guidelines and standards from time-to-time in effect with respect to all or any proportion of the property shall hereinafter be referred to as the "Snug Harbor Design Standards".
- c) To enforce the provisions of the deed restrictions when requested on behalf of the Snug Harbor Master Association.

Snug Harbor Master Association

The Snug Harbor Master Association is an Ohio non-profit corporation. The powers and duties of the Association are set forth in detail in the Snug Harbor Community Documents, including but not limited to, recorded deed restrictions covering Snug Harbor and the Master Association, the Articles of Incorporation and the Code of Regulations

Appendix A – Instructions and Design Review Applications

Snug Harbor Design Control Committee How to Submit an Application for Design Review

Thank you for your interest in building, remodeling, adding to, or upgrading a home in the Snug Harbor Communities. The continued high quality of life at Snug Harbor depends on everyone's participation in maintaining the design standards outlined in the Design Guide and enforced by the Design Control Committee.

Snug Harbor projects vary widely in their scope – from repainting a deck to building a new home – so we've prepared this list of "Frequently Asked Questions" to help you submit an application and get it approved as quickly as possible.

Before you begin the design or construction of any project, please read the Design Guide. If you have any questions about the application or review process, please contact the Design Control Committee for clarification.

What kinds of projects require Design Review?

Any project that changes the look of any part of the exterior of any property or the structures on it must be reviewed by the DCC including (see "fee schedule" for a complete list):

- New Homes
- Room Additions, screened porches, enclosing an existing porch, detached garage, other outbuildings
- Any remodeling that shows on the exterior
- Decks, railings, deck surfaces, patios, walks, steps, fences
- Signs (nametags)
- Painting - ****Please note that if the original color or a pre-approved color is used, a No Fee Application must be submitted to the DCC. If another color is used, an Application for Renovations, Landscaping, Other Miscellaneous Work can be used.****
- Roofing, when a color, style or material is to be changed
- Replacement of exterior elements (siding, windows, trim, etc.) unless the new element is an exact match or the existing in terms of design, color and materials or the new material/color is one which has been pre-approved by the DCC
- Landscaping, pools, sports courts, spa tubs, outdoor fireplaces, generators, satellite dishes
- New or replaced/repainted dock ****Please note that any change in the dimensions or style of a dock is prohibited.****

If you're not sure whether your project requires design review, please contact the DCC.

What Information is Required on the Design Review Application?

There are three applications in the Design Guide, one for new homes, remodeling and additions; a second for renovations, landscaping and other miscellaneous work; and a No Fee Application to address like-for-like replacements and changes using pre-approved materials or pre-approved colors.

In general, fill out all applicable sections of the application. If any sections don't apply to your project, please note "none" or "n/a" in the blank.

Many projects include more than one type of item; typically these can be included in one application for a single review.

Please remember that the DCC can only review what you submit; the more complete your submittal the more quickly we'll be able to complete your review.

- Include the project location and the name and contact information for the property owner. Also include the names and contact information for your architect/designer and builder, so that if needed, we may contact them with any technical questions about your project
- Include a brief description of the project – (i.e., "replace existing windows and doors" or "install new patio and outdoor fireplace")
- Include photographs of the area where the work will occur (digital photographs should be emailed to the DCC)
- Include detailed, scaled drawings of the proposed project (the quality and accuracy of these drawings is important for a complete review)
- Include any "catalog cuts" of proposed materials and architectural elements that are not clearly shown on the drawings
- Include any color swatches of proposed paint colors
- Include the appropriate fee (see attached fee schedule)

If you're not sure what to include in your application, please contact the DCC.

How/To Whom Should I Submit the Application?

Applications and supporting materials may be submitted by mail or email to the DCC. If submitting by mail, please send 3 copies of all printed materials. Please include a check per the attached fee schedule.

All drawings sent by mail should be reduced to the smallest legible size, no larger than 11x17 inches.

Submittals may be made to the DCC:

By mail: Design Control Committee
5 East Long Street, Suite 800
Columbus, Ohio 43215

By email: snugharborma@gmail.com

How Long does the Review Process Take?

There are no regularly scheduled meetings of the DCC; complete applications are generally reviewed within (2) weeks of their receipt by the DCC.

If the DCC has questions about your application, we'll email you as soon as we can. Once your review is complete, you'll receive a letter from the DCC.

Who is Responsible for Complying with the Design Guide?

Applications are frequently submitted by architects/designers or builders. Regardless of who submits an application, the owner is responsible for meeting the requirements of the Design Guide and for submitting a complete application.

Please provide your design and construction professionals with a copy of the Design Guide and impress upon them the importance of working with the DCC to maintain the high standards of the Snug Harbor Communities.

How Much does a Design Review Application Cost?

A fee schedule is included with the application forms. Several levels of fees have been established to address the many types of projects frequently reviewed by the DCC. Checks are to be made out to: Snug Harbor Master Association Inc.

Many projects include more than one item to be reviewed; often these can be bundled in one application to reduce the total fee.

Please contact the DCC for questions about how to bundle items in an application.

How Do I Contact the DCC?

Design Control Committee
5 East Long Street, Suite 800
Columbus, Ohio 43215

Email: snugharborma@gmail.com

Every new structure or addition to an existing structure is subject to Thorn Township Zoning Restrictions and setback requirements. Owners must complete and submit a separate application and fee to: Thorn Township Zoning Department.

<http://www.cpmra.muohio.edu/townships/thorntwp/zoning.htm>

Owners and their contractors should review guidelines for guidance.

Appendix B – Fee Schedule

Building A New Home

(includes pools, outbuildings, etc. when submitted as a single application)

<ul style="list-style-type: none"> • Preliminary Review • Final Review 	\$750.00
<ul style="list-style-type: none"> • Additional Reviews, if needed 	\$300.00
<ul style="list-style-type: none"> • Landscaping 	\$150.00
<ul style="list-style-type: none"> • Late Filing Fee i.e. “as built” work, constructed without DCC approval (per additional review) 	4X original amount

Remodeling and/or Adding To A Home

(includes landscaping, materials/colors changes, etc. when submitted as a single application)

<ul style="list-style-type: none"> • Room Additions • Enclosed Porches up to 500 square feet (and each additional 500 sf or fraction thereof) 	\$200.00
<ul style="list-style-type: none"> • Detached Garages • Open Porches • Decks • Other outbuildings 	\$50.00
<ul style="list-style-type: none"> • Late Filing Fee i.e. “as built” work, constructed without DCC approval (per additional review) 	4X original amount

Renovations, Landscaping, Other Miscellaneous Work

<ul style="list-style-type: none"> • Roof walks • Fences • Swimming pool/deck • Tennis/sport courts 	\$50.00
<ul style="list-style-type: none"> • Signs (“nametags”) • Satellite dishes • Color Changes • Material changes (including replacing windows, trim, siding, roofing, etc.) • Others (including, but not limited to any exterior ornamentation, fire pits, outdoor fireplaces, outdoor kitchens, patios, spa/hot tubs, generators) 	\$30.00
<ul style="list-style-type: none"> • Landscaping (including, but not limited to adding or expanding planting beds, walkways, paths, steps, retaining walls, landscaping accessories and certain irrigation systems as described in this document) • New or replacement driveways • New, replacement or modified docks 	\$30.00
<ul style="list-style-type: none"> • Late filing Fee i.e., “as built” work, constructed without DCC approval (per additional review) 	4X original amount

Snug Harbor DCC Design Review Application
New Home Construction
Remodeling and Additions

Please fill out all application sections of this application and attach scaled, detailed drawings of the proposed project. When appropriate, include photographs of the area where the work is proposed, catalog cuts of proposed materials and finishes and color swatches. Complete, detailed applications will be reviewed as quickly as possible. Contact the DCC with any questions about the application or review process.

Date	
Project Street Address	Lot#
Owner Name	
Phone	Email

Builder		
Street Address		
City	State	Zip
Phone	Email	

Architect/Designer		
Street Address		
City	State	Zip
Phone	Email	

Project Description

Please provide a brief description of the project you're submitting for review by the Snug Harbor DCC. (i.e., "a new custom home and detached garage with rear deck" or "add screened porch at rear of home")

Building Finishes

Information regarding the finish materials below must be included on either the drawings, or in the table below. Applications without this information will not be reviewed.

Window Type(s)	Window Brand
Window Material(s)/Color	

Door Type(s)	Door Brand
Door Material(s)/Color	

Siding Type(s)	Siding Brand
Siding Material(s)/Color	

Trim Type(s)	Trim Brand
Trim Material(s)/Color	

Brick/Stone Type(s)	Brick/Stone Brand
Brick/Stone Finish/Color	

Exposed Foundation Material
Exposed Foundation Color

Roofing Type(s)	Roofing Brand
Roofing Finish/Color	

Entry Porch Materials
Deck Materials
Walk/Patio Materials
Driveway Material
Exterior Lighting (describe)

Landscaping
A separate drawing showing a fully developed landscape plan must be submitted with this application or at least 30 days prior to installation on the site
Landscape Details (if not shown on landscape plan)
Landscape Designer/Installer

**Snug Harbor DCC Design Review Application
Renovations, Landscaping, Other Miscellaneous Work**

Please fill out all application sections of this application and attach scaled, detailed drawings of the proposed project. When appropriate, include photographs of the area where the work is proposed, catalog cuts of proposed materials and finishes and color swatches.

Complete, detailed applications will be reviewed as quickly as possible. Contact the DCC with any questions about the application or review process.

Date	
Project Street Address	Lot#
Owner Name	
Phone	Email

Builder		
Street Address		
City	State	Zip
Phone	Email	

Architect/Designer		
Street Address		
City	State	Zip
Phone	Email	

Project Description

Please provide a brief description of the project you're submitting for review by the Snug Harbor DCC. (i.e., "a new custom home and detached garage with rear deck" or "add screened porch at rear of home")

--

Building Finishes

Information regarding the finish materials below must be included on either the drawings, or in the table below. Applications without this information will not be reviewed.

Window Type(s)	Window Brand
Window Material(s)/Color	

Door Type(s)	Door Brand
Door Material(s)/Color	

Siding Type(s)	Siding Brand
Siding Material(s)/Color	

Trim Type(s)	Trim Brand
Trim Material(s)/Color	

Brick/Stone Type(s)	Brick/Stone Brand
Brick/Stone Finish/Color	

Exposed Foundation Material
Exposed Foundation Color

Roofing Type(s)	Roofing Brand
Roofing Finish/Color	

Entry Porch Materials
Deck Materials
Walk/Patio Materials
Driveway Material
Exterior Lighting (describe)

Landscaping
A separate drawing showing a fully developed landscape plan must be submitted with this application or at least 30 days prior to installation on the site
Landscape Details (if not shown on landscape plan)
Landscape Designer/Installer

Snug Harbor DCC Design Review Application
No Fee Form For Replacements with Original/Pre-Approved Materials and Repainting
with Original/Pre-Approved Colors Only

Please fill out all application sections of this application and attach scaled, detailed drawings of the proposed project. When appropriate, include photographs of the area where the work is proposed, catalog cuts of proposed materials and finishes and color swatches. Complete, detailed applications will be reviewed as quickly as possible. Contact the DCC with any questions about the application or review process.

Date	
Project Street Address	Lot#
Owner Name	
Phone	Email

Builder		
Street Address		
City	State	Zip
Phone	Email	

Architect/Designer		
Street Address		
City	State	Zip
Phone	Email	

Project Description
Please provide a brief description of the project you're submitting for review by the Snug Harbor DCC. (i.e., "a new custom home and detached garage with rear deck" or "add screened porch at rear of home")

Building Finishes
Information regarding the finish materials below <u>must</u> be included on either the drawings, or in the table below. Applications without this information <u>will not</u> be reviewed.

Window Type(s)	Window Brand
----------------	--------------

Window Material(s)/Color

Door Type(s)	Door Brand
--------------	------------

Door Material(s)/Color

Siding Type(s)	Siding Brand
----------------	--------------

Siding Material(s)/Color

Trim Type(s)	Trim Brand
--------------	------------

Trim Material(s)/Color

Brick/Stone Type(s)	Brick/Stone Brand
---------------------	-------------------

Brick/Stone Finish/Color

Exposed Foundation Material

Exposed Foundation Color

Roofing Type(s)	Roofing Brand
-----------------	---------------

Roofing Finish/Color

Entry Porch Materials

Deck Materials

Walk/Patio Materials

Driveway Material

Exterior Lighting (describe)

Landscaping

A separate drawing showing a fully developed landscape plan must be submitted with this application or at least 30 days prior to installation on the site

Landscape Details (if not shown on landscape plan)
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Landscape Designer/Installer

Appendix C – Design Guide Updates

Any updates made to the Design Guide after the Revision Date by the Master Association, whether by letter or some other format, are intended to be included in this Appendix C and thereby incorporated into the Design Guide.

Appendix D – New Approved Materials

As new materials are approved by the DCC after the Revision Date, they will be added in this Appendix D and thereby incorporated into the Design Guide.

Approved Materials For Use at Snug Harbor

HardiePlank®

Is a wood-like siding or comparable. HardiePlank® is required to be of smooth finish with a 4 ½” of exposure unless otherwise approved by the DCC. Only primed finish is pre-approved; all siding has to be field painted. Similar products will be considered by the DCC.

Ply-Trim® Exterior Trim System

Thickness shall be either 5/8” or 1” net measurements in 2” through 12” nominal widths. Face is clear of defect and is smooth textured. Lengths are 16’ long unless specified other. Similar products will be considered by the DCC.

Fypon® Fypon or equal Louvers, Vents, Etc.

Azek Trim

For cedar wall shingles/shakes: Number 1 Blue Label Western Red Cedar Shingles; Certi-Sawn Premium Grade Tapersawn Western Red Cedar Shakes

Boral TruExterior® Trim

Boral TruExterior™ Siding

Appendix E – Color Recommendations

Colors for all exterior elements of Snug Harbor homes should be appropriate for the Architectural style of the home and should be chosen from established “historic” color collections.

Generally, no more than three colors should be used for painted and/or prefinished exterior materials (not including roofing and masonry) and should be carefully selected to maintain the Snug Harbor homes.

Many of the colors below are from Sherwin Williams Exterior Preservation Palette, but other manufacturer’s historic color collections are also acceptable.

Not all of the colors suggested below are appropriate for every house in Snug Harbor. Combinations of colors should be carefully considered.

*****Please note that we have listed the approved colors immediately below. The list of architectural features with the approved color for each feature follows the list of approved colors.*****

Suggested Colors	
Color Family	Approved Colors
White	SW 7005 Pure White SW 7010
Buff White	SW 0050 Classic Light Buff SW 6385 Dover White SW 2829 Classical White SW 6119 Antique White SW 6120 Believable White
Pale Yellow	SW 6900 Optimistic Yellow SW 6392 Vital Yellow
Yellow	SW 2865 Classical Yellow SW 2857 Peace Yellow
Gray	SW 2832 Colonial Revival Gray SW 6073 Perfect Greige SW 7047 Porpoise SW 7504 Keystone Gray
Light Gray	SW 0052 Pearl Gray SW 2844 Roycroft Mist Gray
Red	SW 2802 Rookwood Red SW 7594 Carriage Door SW 0006 Toile Red SW 2801 Rookwood Dark Red
Blue	SW 6249 Storm Cloud SW 6244 Naval SW 7614 St. Barts

	SW 0018 Teal Stencil
Light Blue-Gray	SW 6219 Rain
Green	SW 2816 Rookwood Dark Green SW 2811 Rookwood Blue Green SW 2847 Roycroft Bottle Green SW 2846 Roycroft Bronze Green
Brown	SW 2835 Craftsman Brown SW 7527 Nantucket Dune SW 2841 Weathered Shingle SW 2807 Rookwood Medium Brown

Walls	
Material/Comments	Required Color
Shakes (split) and Shingles (sawn)	Gray Brown Buff White
Clapboards (horizontal siding)	White Gray Cream Pale Yellow Brown
Exposed Foundations <ul style="list-style-type: none"> Does not apply to natural stone or brick foundations 	White Light Gray

Trim	
Material/Comment	Required Color
Corner Boards	White
Fascias, rakes, soffits, other roof trim	White
Shutters <ul style="list-style-type: none"> Shutter hardware should always be black 	Red Light blue-gray Dark Green

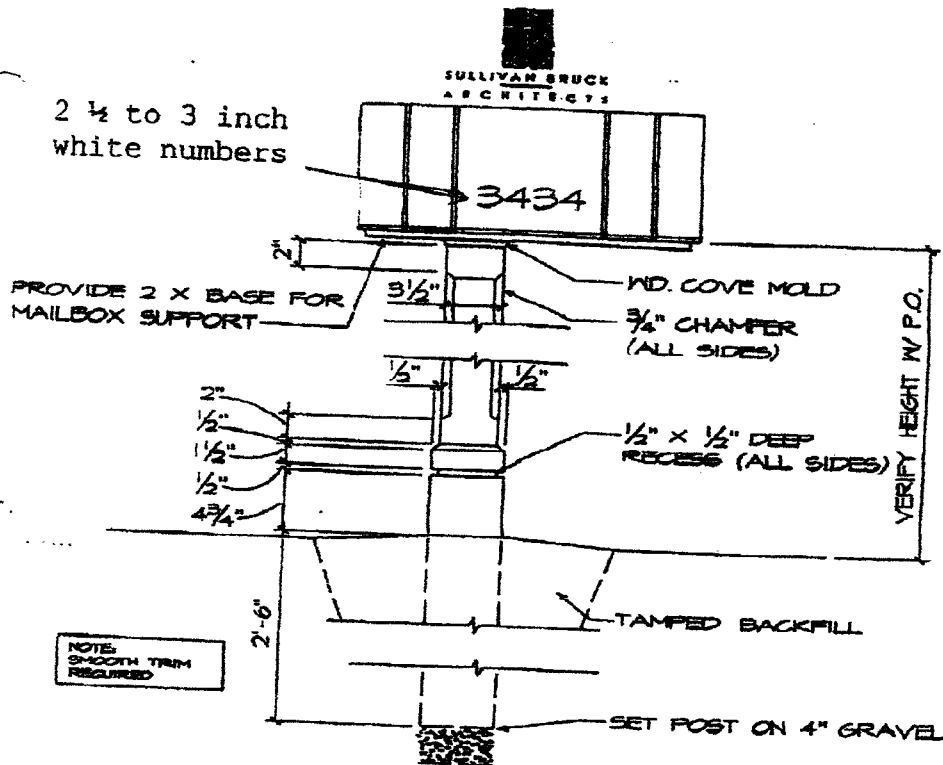
Windows	
Materials/Comments	Required Color
Trim	White
Sash (the movable part)	White
Frame	White

Doors	
Materials/Comments	Required Color
Trim <ul style="list-style-type: none"> Trim color must match other trim on house (cornerboards, etc.) 	White
Frame	White
Door Slab <ul style="list-style-type: none"> Applies to main entry doors only; other doors (patio, utility, etc.) should match the trim color 	White Red Gray Yellow Blue Green

Porches and Steps	
Materials/Comments	Required Color
Trim <ul style="list-style-type: none"> Includes all horizontal surfaces and trim details of the porch roof/surround structure 	White
Posts, Columns, other vertical surfaces	White
Railings, balusters	White
Porch surface and stair treads <ul style="list-style-type: none"> Colors are for painted deck boards and treads only (composite decking materials must be selected from Snug Harbor pre-approved choices) 	White Gray Brown

Other	
Materials/Comments	Required Color
Chimneys <ul style="list-style-type: none"> In certain applications chimneys may also be framed and sided; if sided, colors are to match wall colors 	Natural brick Stone
Gutters and Downspouts <ul style="list-style-type: none"> Colors of these elements should always match the color of the material that they're attached to 	
Fences (wood and composite)	White
Fences (wrought iron and similar)	Black Green
Mailboxes and posts	Mailbox: Krylon Indoor/Outdoor paint in Hunter Green with Satin Finish. Product #53502 Post: Valspar Duramax White or pre-approved white specified in Exhibit E

Appendix G - Approved Mailbox Details



NOTE: ALL WOOD TO BE PRESSURE TREATED (RATED FOR UNDERGROUND APPLICATION).

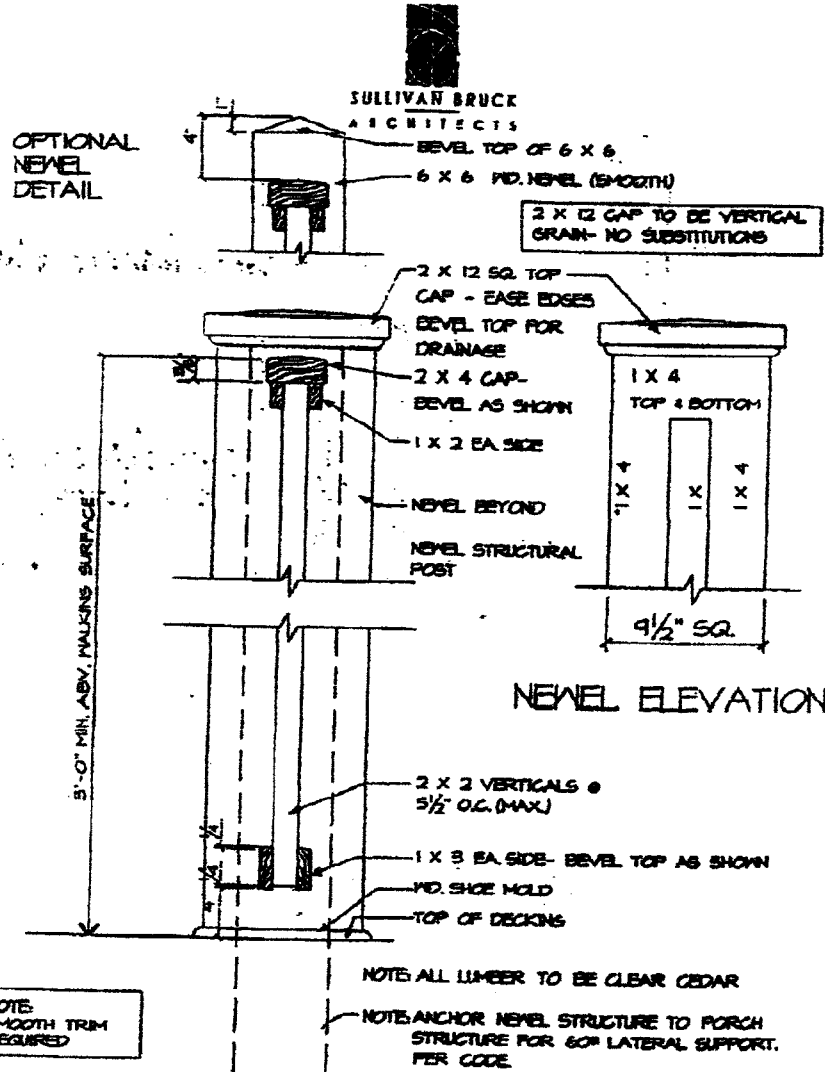
SCHEMATIC MAIL BOX DETAIL

SUPPLEMENTAL DRAWING

DATE 6-12-88	PROJECT NO.	SHEET NO. SD-8
-----------------	-------------	-------------------

Sullivan Bruck Architects, Inc. 200 South Fourth Street, Columbus, GA 31901
TEL 404-466-9888 FAX 404-466-9888

Appendix H – Pre-approved Standard Details



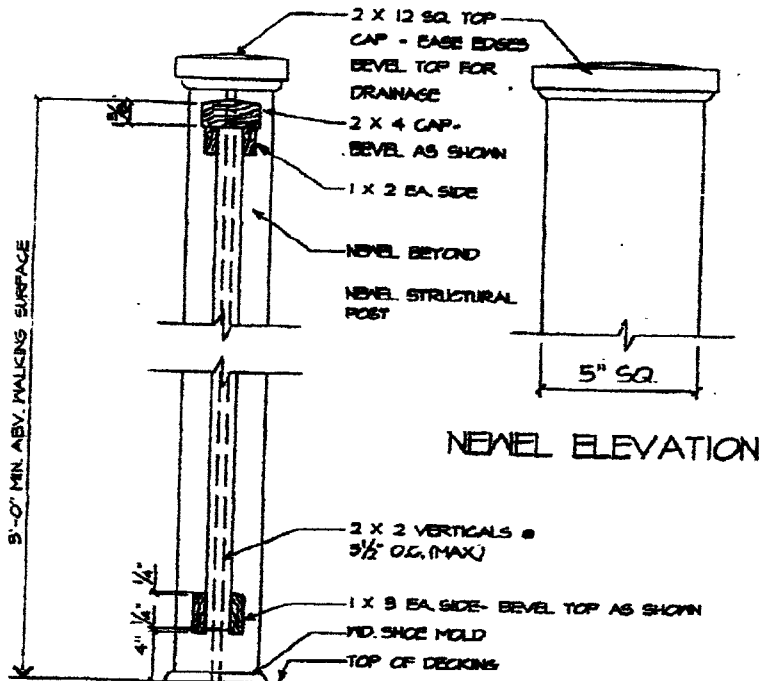
TYPICAL SCHEMATIC HANDRAIL DETAIL

4-15-08	PROJECT NO.	REVISION NO.	SHEET NO: SD-1
---------	-------------	--------------	--------------------------



SULLIVAN BRUCK
ARCHITECTS

2 X 12 CAP TO BE VERTICAL
GRAIN- NO SUBSTITUTIONS



NOTE:
SMOOTH TRIM
REQUIRED

NOTE: ALL LUMBER TO BE CLEAR CEDAR

NOTE: ANCHOR NEVEL STRUCTURE TO PORCH
STRUCTURE FOR 60# LATERAL SUPPORT.
PER CODE.

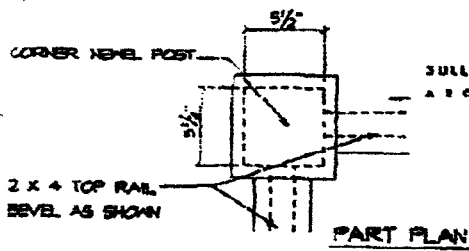
TYPICAL SCHEMATIC HANDRAIL DETAIL
SC. 1 1/2" = 1'-0"

SUPPLEMENTAL DRAWING

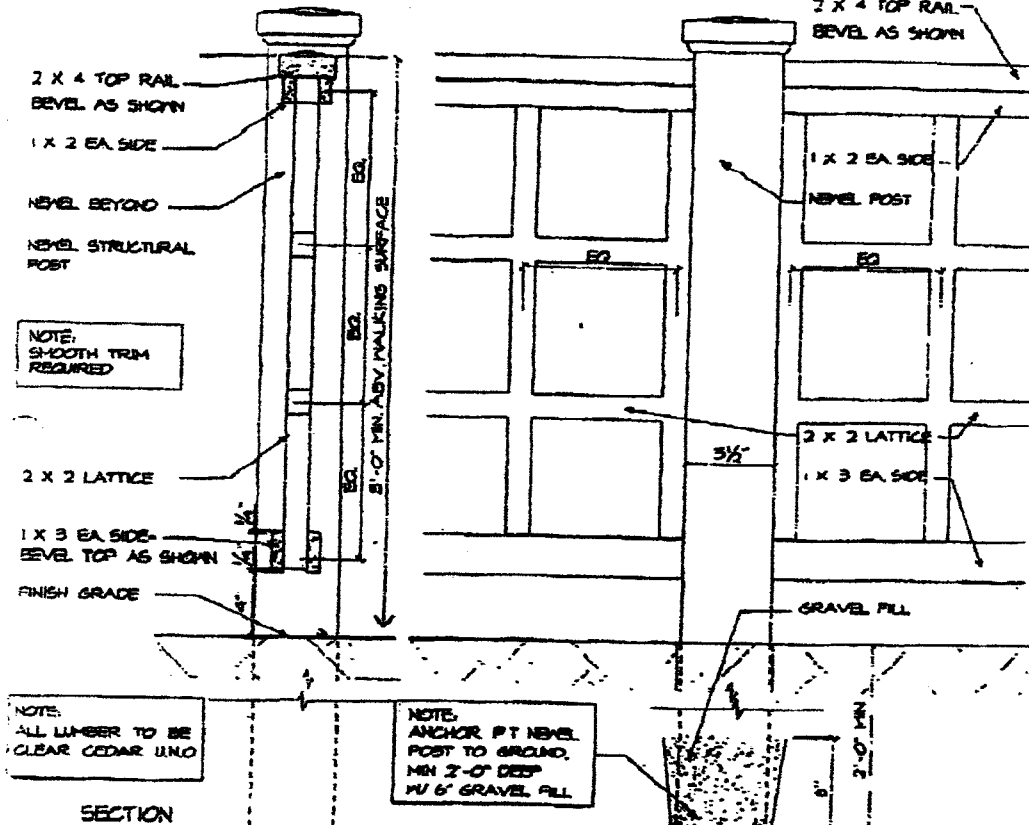
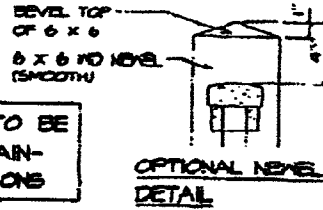
DATE
09-27-00
PBC

SHEET NO:
SDI-B

SULLIVAN BRUCK
ARCHITECTS



2 X 12 CAP TO BE
VERTICAL GRAIN-
NO SUBSTITUTIONS



TYPICAL SCHEMATIC FENCE DETAIL

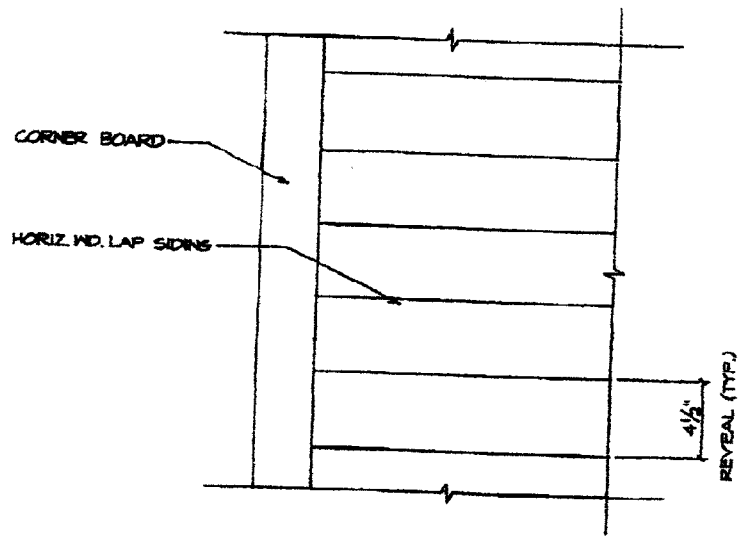
SC. 1/2"=1'-0"

SUPPLEMENTAL DRAWING

SHEET NO.
SDI-C



SULLIVAN BRUCK
ARCHITECTS



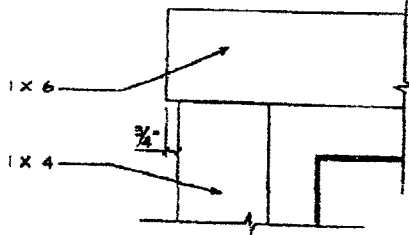
NOTE
SMOOTH TRIM
REQUIRED

○ TYPICAL LAP SIDING DETAIL
SC. 1 1/2"=1'-0"

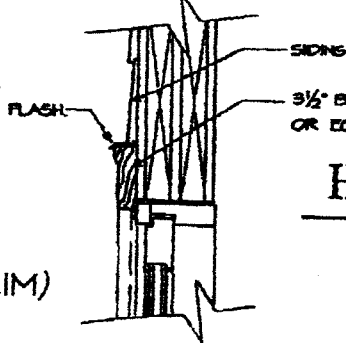
SUPPLEMENTAL DRAWING

NO.	SHEET NO: SD-2
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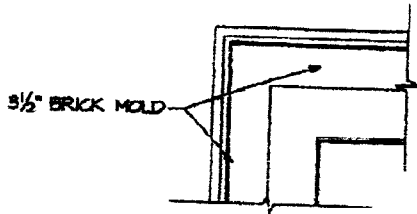
SULLIVAN BRUCK
ARCHITECTS



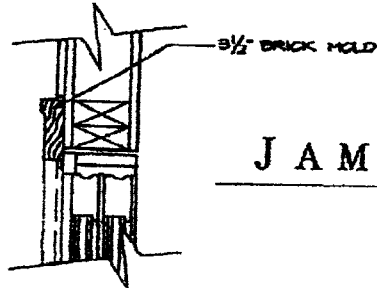
HEAD (ALT. 1 X 6 TRIM)



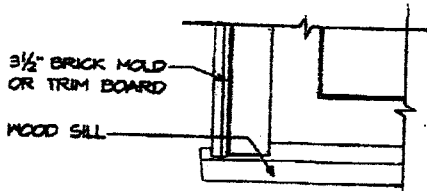
HEAD



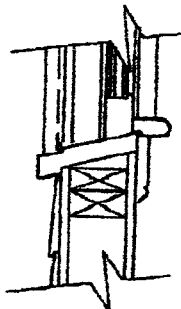
HEAD



JAMB



ELEVATION
SILL



SILL

NOTE:
SMOOTH TRIM
REQUIRED

○ TYPICAL SCHEMATIC WINDOW DETAIL
SC. 1 1/2" = 1'-0"

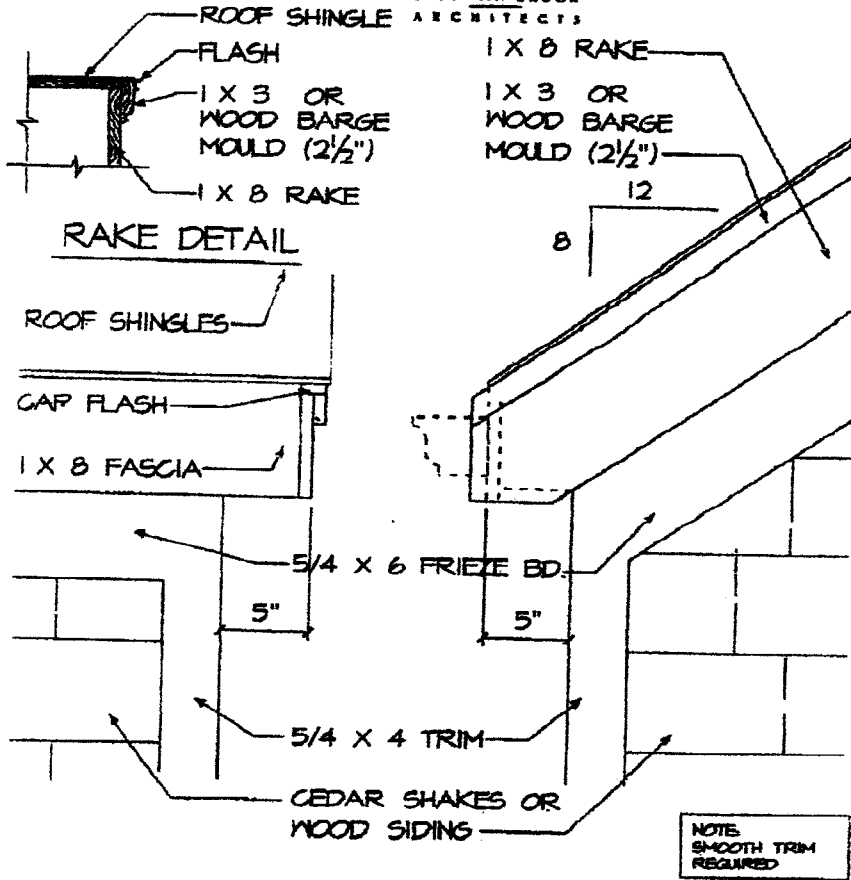
SUPPLEMENTAL DRAWING

NO.

SHEET NO:
SD-3

DATE: 08/04/04

SULLIVAN BRUCK
ARCHITECTS



NOTE: 1. GUTTER SHOWN DASHED FOR CLARITY.
2. ROOF SLOPE MAY VARY.

⊕ SCHEMATIC RAKE & EAVE ELEVATIONS
SCALE 1/8" = 1'-0"

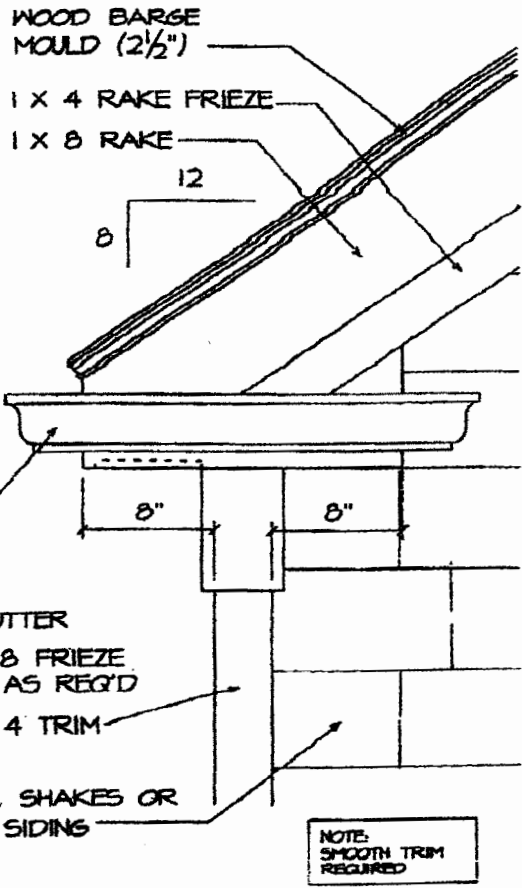
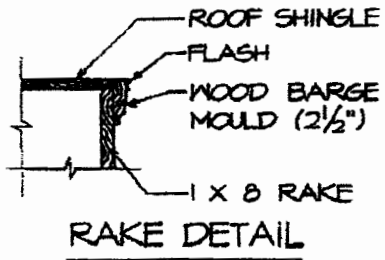
SUPPLEMENTAL DRAWING

TREAT NO:	
NO.	SD-4

Copyright Date: 2011
www.sbruck.com



SULLIVAN BRUCK ARCHITECTS

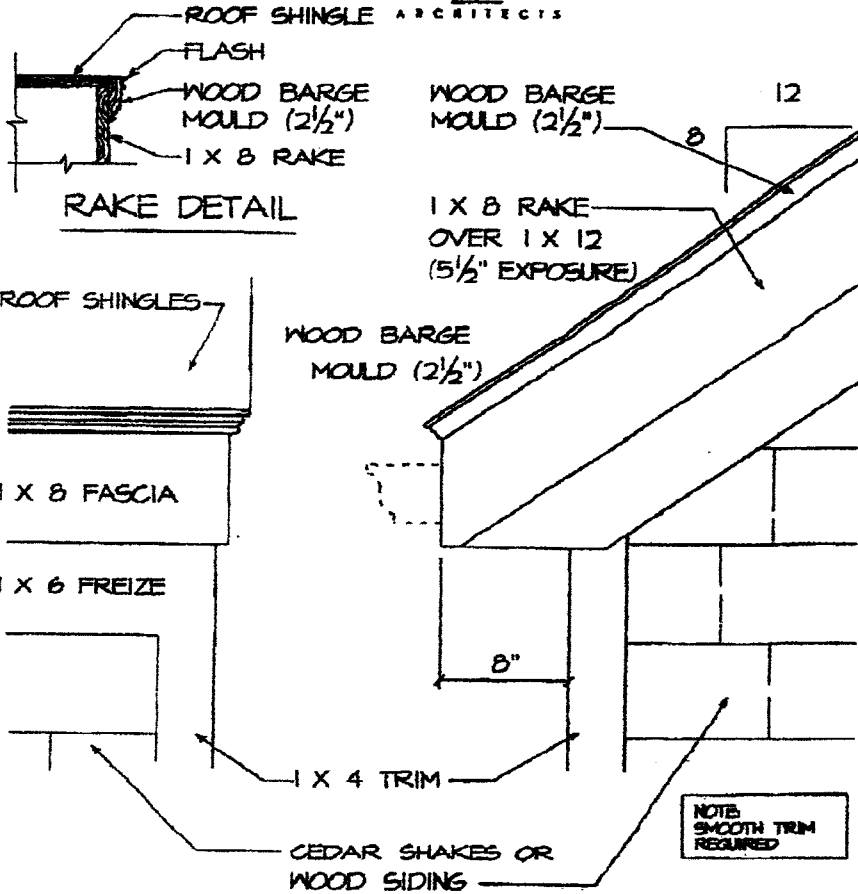


NOTE: SMOOTH TRIM REQUIRED

SCHEMATIC RAKE & EAVE ELEVATIONS
SC 1 1/2" = 1'-0"

SUPPLEMENTAL DRAWING

TITLED		SHEET NO:	
NO.		SD-6	

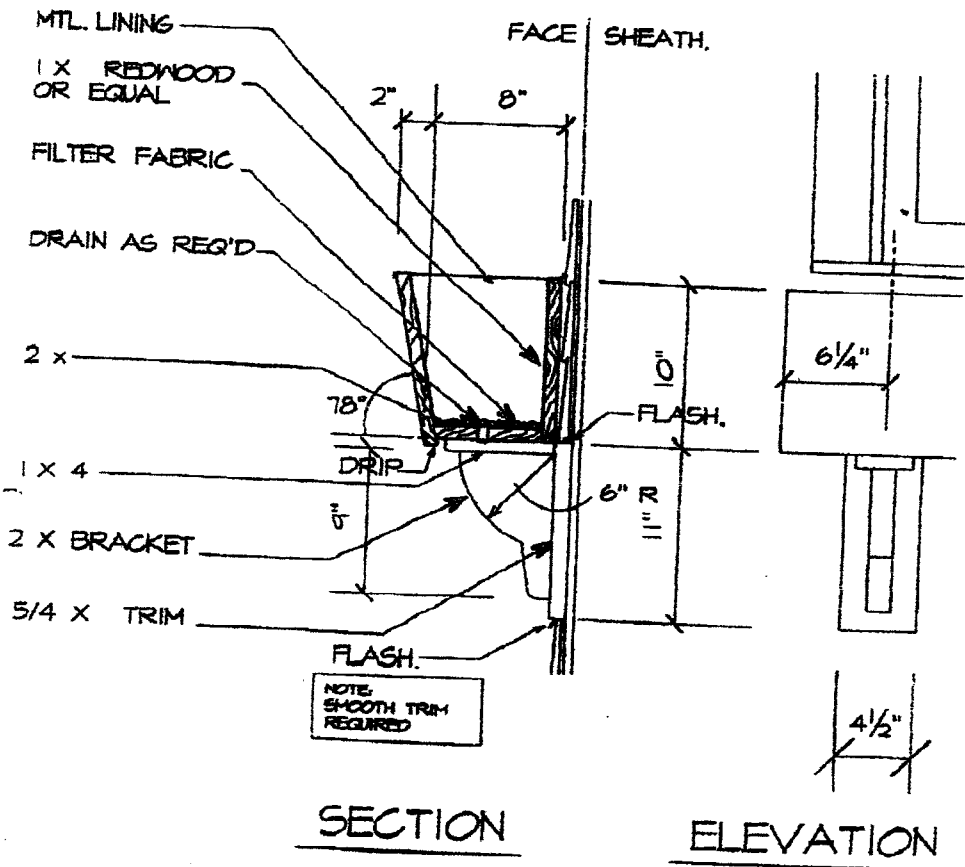


NOTE: 1. GUTTER SHOWN DASHED FOR CLARITY.
2. ROOF SLOPE MAY VARY.

SCHEMATIC RAKE & EAVE ELEVATIONS
SC. 1/8" = 1'-0"

SUPPLEMENTAL DRAWING

DE NO. _____
SHEET NO:
SD-7



SECTION

ELEVATION

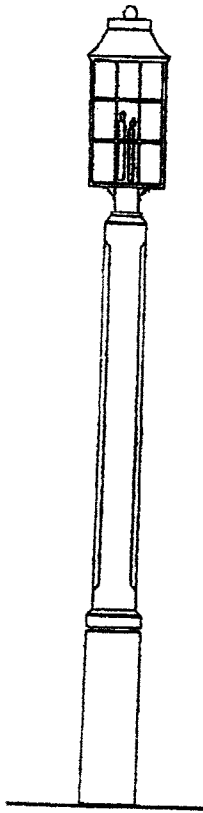
NOTE:
SMOOTH TRIM
REQUIRED

NOTE: BRACKET SPC'G TO BE
3'-6" MAX. O.C.

SCHEMATIC WINDOW BOX DETAIL
SC. 1 1/2" x 1" - 0

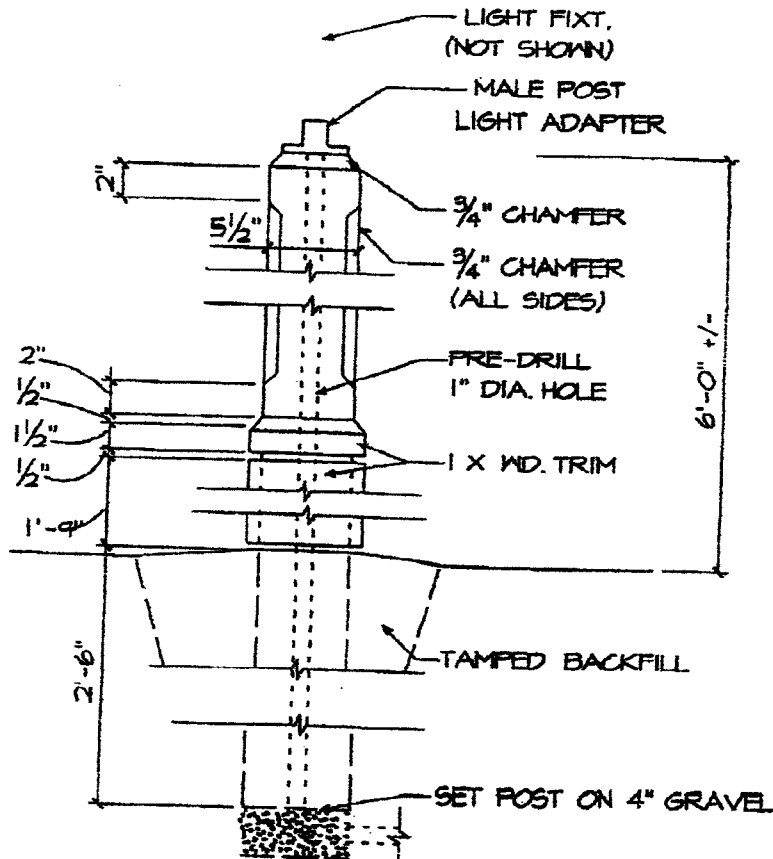
SUPPLEMENTAL DRAWING

NO. _____ SHEET NO.:
SD-9



ELEVATION
SC. 3/4" = 1'-0"

NOTE:
SMOOTH TRIM
REQUIRED



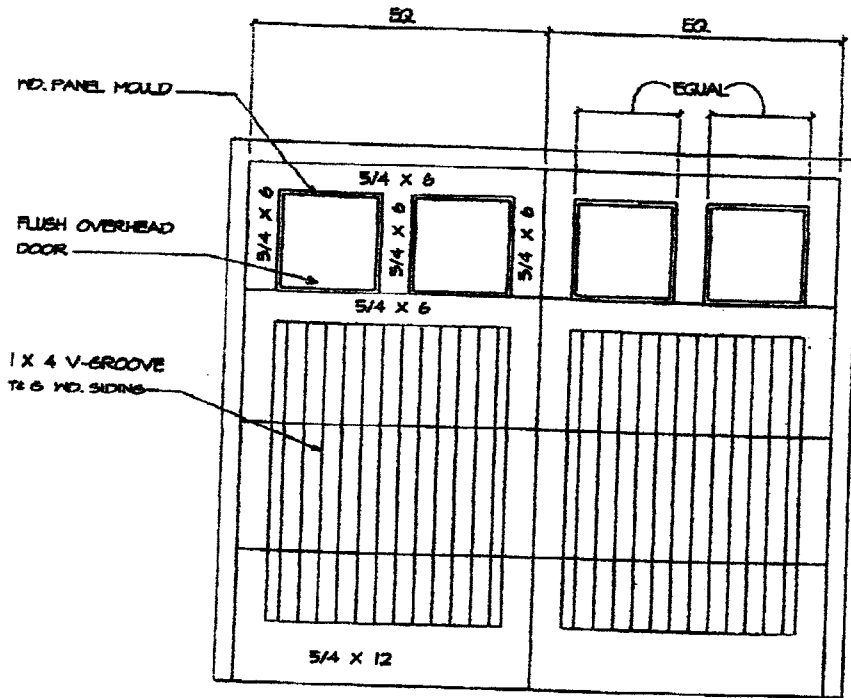
NOTE: ALL WOOD TO BE PRESSURE TREATED
(RATED FOR UNDERGROUND APPLICATION).

SCHEMATIC LAMP POST DETAIL
SC. 1/8" = 1'-0"

SUPPLEMENTAL DRAWING

NO. _____

SHEET NO:
SD-10



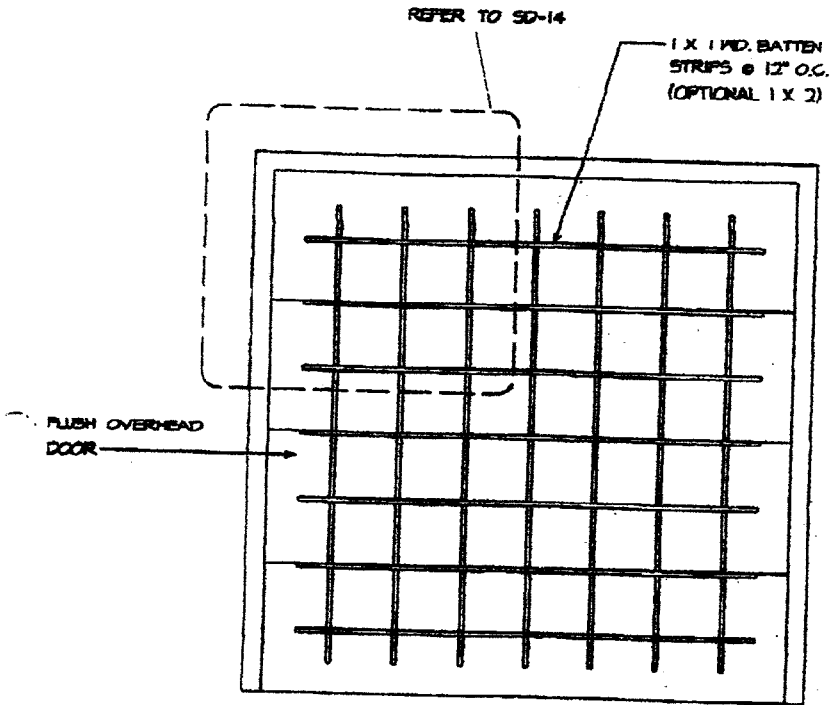
NOTE
 SMOOTH TRIM
 REQUIRED

○
TYPICAL VENEERED GARAGE DOOR DETAIL
 SC11/2 "B1"-0" "STYLE A"

SUPPLEMENTAL DRAWING

SHEET NO:
SD-11

NO. _____



NOTE:
SMOOTH TRIM
REQUIRED

○ TYPICAL VENEERED GARAGE DOOR DETAIL
SCALE: 1/2" = 1'-0" "STYLE C"

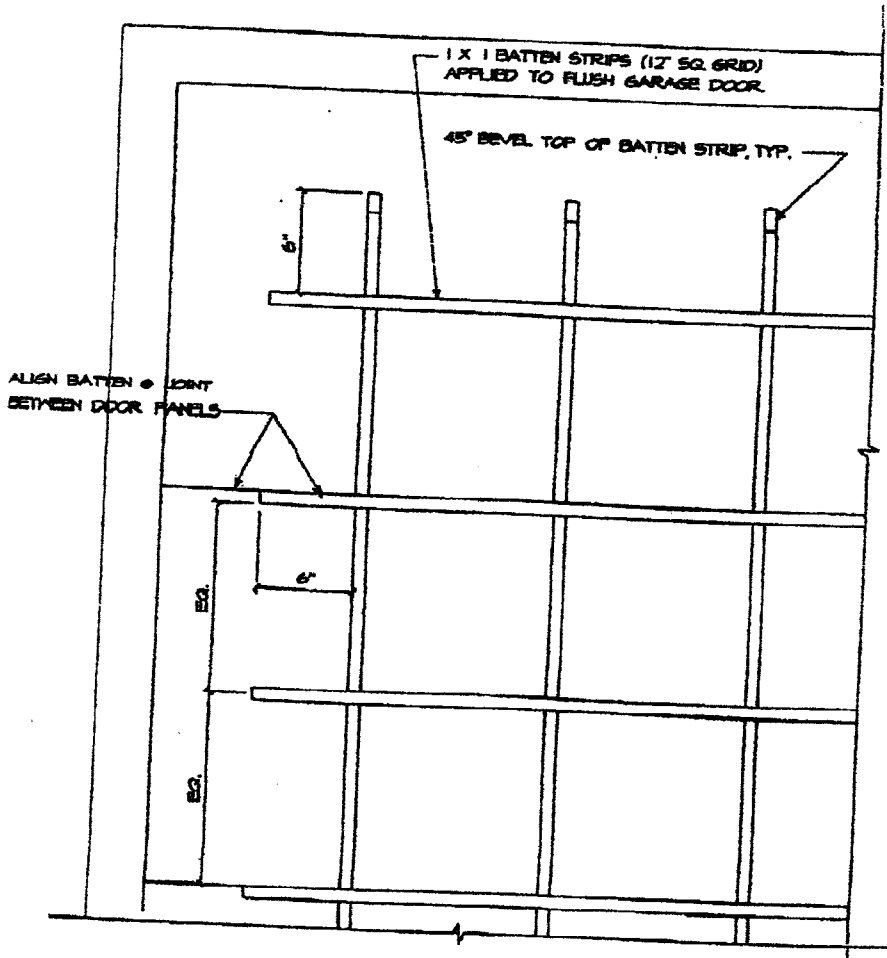
SUPPLEMENTAL DRAWING

SHEET NO:
SD-13



SULLIVAN BRUCK
ARCHITECTS

NOTE:
SMOOTH TRIM
REQUIRED



⊙ TYPICAL SCHEMATIC GARAGE DOOR DETAIL
SC: 1/8"=1'-0"

1/4" BATTEN STRIP

SUPPLEMENTAL DRAWING

R. NO.

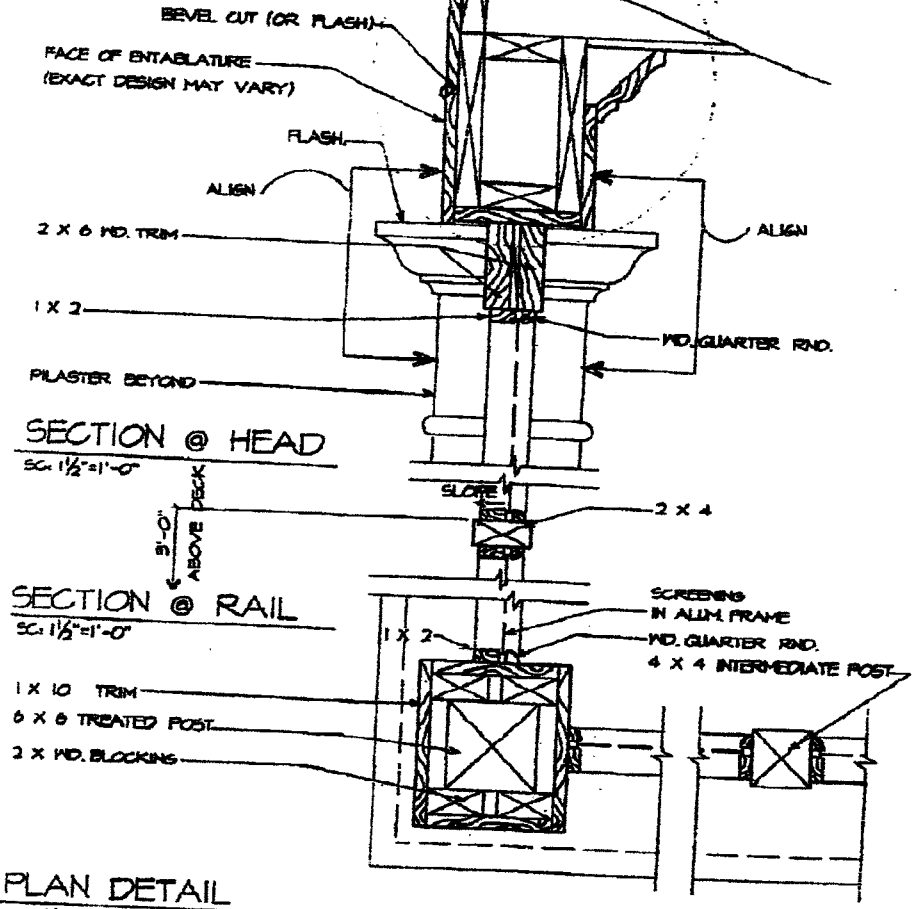
SHEET NO:
SD-14

REVISIONS

SULLIVAN BRUCK
ARCHITECTS

NOTE:
SMOOTH TRIM
REQUIRED

NOTE: "SCREEN TIGHT" PRODUCT
HAS NOT BEEN APPROVED
© HERON BAY



SECTION @ HEAD
SC: 1 1/2" = 1'-0"

SECTION @ RAIL
SC: 1 1/2" = 1'-0"

PLAN DETAIL
SC: 1 1/2" = 1'-0"

⊙ TYPICAL SCREEN PORCH DETAILS

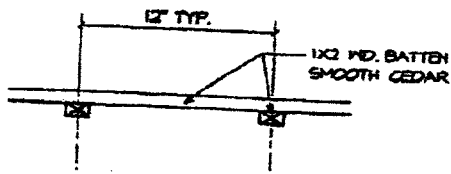
SC: AS NOTED

SUPPLEMENTAL DRAWING

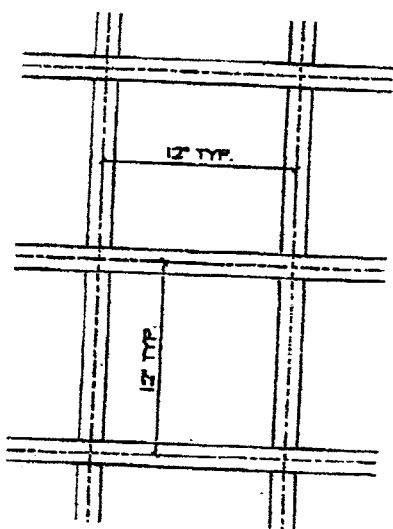
1 RD.	SHEET NO: SD-16
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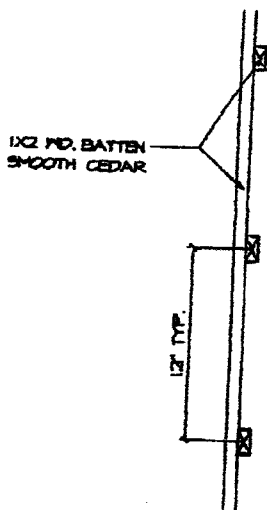
SULLIVAN BRUCK
ARCHITECTS



PLAN DETAIL



ELEVATION DETAIL



SECTION DETAIL

○ TYPICAL LATTICE DETAILS

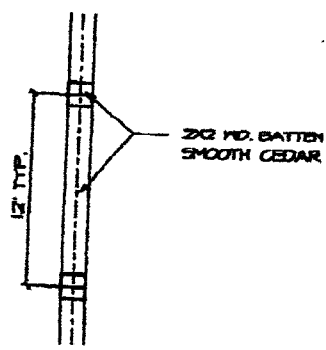
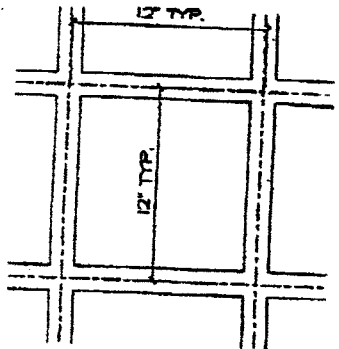
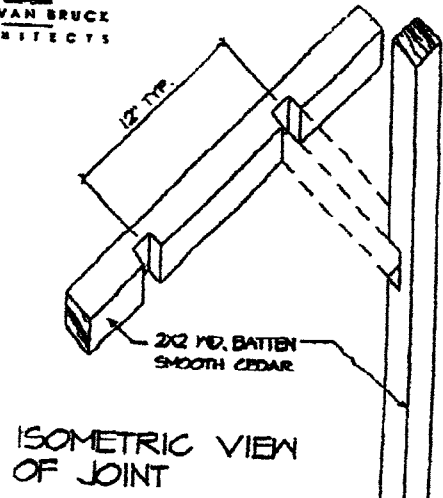
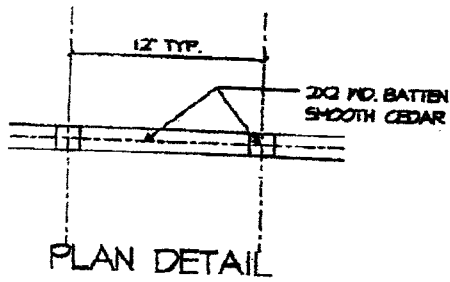
SCALE: 1/8" = 1'-0"

SUPPLEMENTAL DRAWING

NO.

SHEET NO:
SD-17

Columbus, Ohio 43216
647 1382281.com

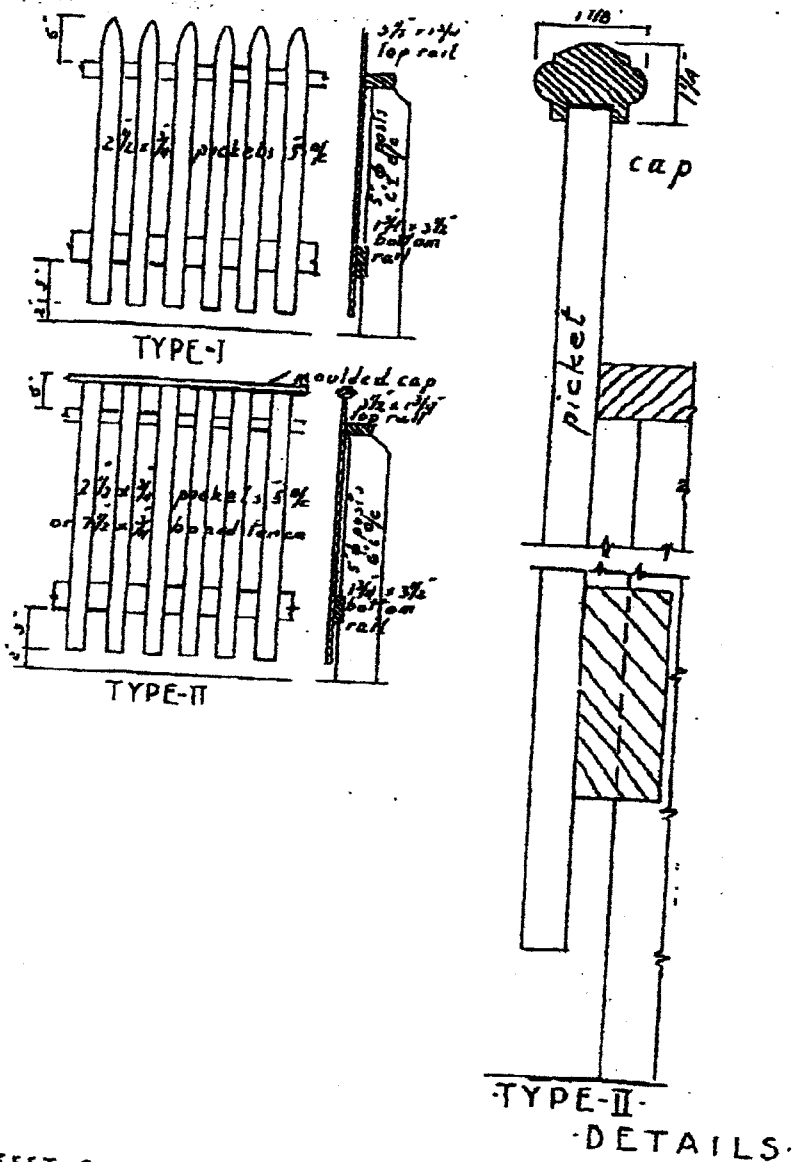


○ TYPICAL LATTICE DETAILS
SC. 1/2"=1'-0"

SUPPLEMENTAL DRAWING

NO. _____

SHEET NO:
SD-18



FEET 0 1 2 3
SCALE OF ELEV. & SECTS.

INCHES 0 1 2 3 4 5 6
SCALE OF DETAILS.

FENCES.

Appendix I

SNUG HARBOR LANDSCAPING REQUIREMENTS

DRAWINGS:

- A. Landscape drawings prepared by a Landscape Architect or Landscape Designer shall be submitted to the DCC for review and approval prior to the beginning of any landscaping work. Provide a scaled site plan of the property showing the footprint of the house on the property, no-build lines, property lines, easements, etc. Be sure the site plan indicates the location, size and type of all new landscape materials. Identify existing landscape materials and whether they will be removed, retained or transplanted.
- B. Three (3) copies of each drawing, scale 1/10" – 1/8" – 1/4" should be provided. Drawing shall indicate size or caliper, species or variety and quantity of all material.
- C. One copy of the drawings will be returned along with a letter of either "approval" or "disapproval". Drawings not approved shall be revised or resubmitted until approved.

PHOTOGRAPHS:

- A. Provide several photos of the area where the landscaping will be affected.

GENERAL:

- A. Planting design shall coordinate appropriate new plant materials and their requirements with the climate, soil, orientation, water courses, existing plants and vegetation, related natural resources and man-made facilities and improvements.
- B. Landscape materials must be provided and maintained to cover the front, extend to the side elevations and wrap round the rear elevation. Property-defining landscaping and regimented planning are prohibited.

EXISTING PLANT MATERIAL:

- A. Identify and locate existing plant materials to be preserved.
- B. When appropriate, the overall qualities of preserved existing plant material shall be considered and treated in the planting design in a manner similar to new plant material.

NEW PLANT MATERIAL:

- A. Quantities of trees and shrubs shall be sufficient to fulfill the needs of the property as interpreted by Snug Harbor, based on professional site design analysis and customary planting treatments of Snug Harbor.

- B. New plant materials shall be of a reasonable number of varieties. Plants shall be nursery grown, well formed and free of disease and infestation.
- C. Selected plant material shall be of proven hardiness of suitable size, color, texture, summer and winter appearance characteristics and growth habit to serve the intended use.
- D. Minimum sizes for landscape materials at planting are as follows:
- a. Perennials, shrubs, etc. 3 gallon
 - b. Evergreen trees 7' – 8' height
 - c. Deciduous trees 2 1/2" – 3" caliper
- E. Trees used shall be long-lived, pest resistant varieties. They shall be spaced appropriately to achieve normal mature growth.
- F. Trees and shrubs shall not be planted over underground drainage and utility lines and shall be placed far enough away from storm and sanitary sewer and water lines to avoid roots entering the lines.
- G. Planting at driveway entrances shall be arranged to allow a permanent, clear & safe site distance for all vehicles.
- H. All areas of disturbed ground shall be planted with grass or other appropriate vegetation. Plantings in undisturbed ground areas may be omitted when suitable existing vegetation is adequate to serve intended use and to prevent erosion.
- I. Confine landscape beds and plant materials to within your property lines so that installation and future maintenance can be performed from your property. Encroaching onto a neighbor's property or Snug Harbor common areas is prohibited. Keep in mind that the air space at the lot line is owned by that property. Neighboring property owners have the right to rip or remove that portion of the tree or any other landscape materials that extend onto their property.
- J. If trees are to be removed, all portions of the tree must be removed from the site and disposed of properly. Tree stumps must be ground out and the area restored.

RETAINING WALLS:

- A. If adding retaining walls, provide a detail sheet of wall construction and sample of material and color.

PROPER DRAINAGE:

- A. Final grading of all landscaped areas must accommodate proper drainage. If adding drainage assistance such as a French drain, dry creek bed, water retention pond or other drainage assistance, explain in detail the reason for the drainage system, how it will terminate and other detail to clarify proper flow for neighboring properties.

LAWNS:

- A. Lawns shall be planted according to good horticulture practices with acceptable lawn grasses by seeding or sodding in a manner which will result in a satisfactory stand of permanent grass. When lawns are not desired, an acceptable ground cover shall be used.

GROUND COVER:

- A. Ground cover plants shall be of good quality, appropriate form, growth habit and ultimate size to fulfill intended use.

INVASIVE PLANTS:

- A. ODNR discourages the use of invasive plants that impact Ohio's nature preserves. The following plants are prohibited from being planted in Snug Harbor:

- Japanese Honeysuckle
- Japanese Knotweed
- Autumn Olive
- Buckthorns
- Purple Loosetrife
- Common Reed
- Reed Canary Grass
- Garlic Mustard
- Multiflora Rose
- Bush Honeysuckles

Appendix J

**SNUG HARBOR
VARIANCE REQUEST FORM**

ADDRESS _____ LOT# _____

LOT OWNER _____ PHONE _____

EMAIL _____

If applicable, please provide details including items such as photographs, drawings, sketches, materials used, etc. that would assist the Design Control Committee process the application.

Identify the Design Guide requirement you are seeking relief from: _____

Reason for variance request: _____

Explain how the variance will meet the spirit and intent of the Design Guide: _____

Owner Signature

Date

**Please complete and return from to:
Snug Harbor Master Association
5 East Long Street, Suite 800
Columbus, Ohio 43215
Email: snugharborma@gmail.com**

Your variance request has been: APPROVED NOT APPROVED

Signature of Association Director or Agent

Date

Notes: _____
